



City of Rolling Hills

INCORPORATED JANUARY 24, 1957

2 PORTUGUESE BEND ROAD, ROLLING HILLS, CA 90274 | (310) 377-1521

City Council

Monday, October 27, 2025, 7:00 PM

Regular Meeting
City of Rolling Hills

The meeting agenda is available on the City's website. The City Council meeting will be live-streamed on the City's website. View both the [agenda and the live-streamed video](#).

Members of the public may submit written comments by emailing the City Clerk's office at CityClerk@cityofrh.net. Your comments will become part of the official meeting record if received before 3pm on the meeting day. You must provide your full name, but please do not provide any other personal information that you do not want to be published.

View [recordings to City Council meetings](#) online.

AGENDA

1. Call to Order

2. Roll Call

3. Pledge of Allegiance

4. Presentations/Proclamations/Announcements

5. Approve Order of the Agenda

This is the appropriate time for the Mayor or Councilmembers to approve the agenda as is or reorder.

6. Blue Folder Items (Supplemental)

Blue folder (supplemental) items are additional back up materials to administrative reports, changes to the posted agenda packet, and/or public comments received after the printing and distribution of the agenda packet for receive and file.

7. Public Comment on Non-Agenda Items

This is the appropriate time for members of the public to make comments regarding items not listed on this agenda. Pursuant to the Brown Act, no action will take place on any items not on the agenda.

8. Consent Calendar

Business items, except those formally noticed for public hearing, or those pulled for discussion are assigned to the Consent Calendar. The Mayor or any Councilmember may request that any Consent Calendar item(s) be removed, discussed, and acted upon separately. Items removed from the Consent Calendar will be taken up under the "Excluded Consent Calendar" section below. Those items remaining on the Consent Calendar will be approved in one motion. The Mayor will call on anyone wishing to address the City Council on any Consent Calendar item on the agenda, which has not been pulled by Councilmembers for discussion.

8.A. Approve Affidavit of Posting for the City Council Regular Meeting of October 27, 2025

RECOMMENDATION: Approve.

8.B. Approve Motion to Read by Title Only and Waive Further Reading of All Ordinances and Resolutions Listed on the Agenda

RECOMMENDATION: Approve.

8.C. Approve the following Minutes of October 13, 2025: City Council Regular Meeting

RECOMMENDATION: Approve as presented.

8.D. Payment of Bills

RECOMMENDATION: Approve.

8.E. Republic Services Recycling Tonnage and Complaint Reports for September 2025

RECOMMENDATION: Receive and file.

9. Excluded Consent Calendar Items

10. Commission Items

10.A. Zoning Case No. 25-033: Site Plan Review for the construction of a new 19-foot stable, non-exempt grading, expansion of building pad, walls to exceed 3 feet height not to exceed maximum 5 feet height, and other improvements; Conditional Use Permit for stable to exceed maximum 200 square feet; and Variances to exceed 40 percent disturbance and for construction in the front yard setback for the location at 1 Hackamore Road and finding the same exempt from the California Environmental Quality Act (Mahler & Nuccio) (Lot-30 EF)

RECOMMENDATION: Receive and File.

11. Public Hearings

12. Discussion Items

13. Matters From the City Council

13.A. Discussion and review of the City's Blue Newsletter: Purpose, Content, and Opportunities for Enhancement

RECOMMENDATION: Staff requests City Council consideration of possible modifications, additions, or direction regarding the Blue Newsletter's format and content to further improve community communication and outreach efforts.

14. Matters From Staff

14.A. Receive and file the Code Compliance Quarterly Report for the Third Quarter of 2025 (July 1 - September 30)

RECOMMENDATION: Receive and file.

15. Recess to Closed Session

15.A. Conference With Legal Counsel - Existing Litigation Government Code Section 54956.9(D)(1) The City Finds, Based on Advice from Legal Counsel, that Discussion in Open Session will Prejudice the Position of the City in the Litigation. (2 Cases) A.

Name of Case: City of Rolling Hills v. SCE CPUC Docket No. C.24-10-008 B. Name of Case: City of Rolling Hills v. SoCalGas CPUC Docket No. C.24-10-009

RECOMMENDATION: None.

16. Reconvene to Open Session

17. Adjournment

Next regular meeting: Monday, November 10, 2025 at 7:00 p.m. in the City Council Chamber, Rolling Hills City Hall, 2 Portuguese Bend Road, Rolling Hills, California, 90274.

Notice:

Public Comment is welcome on any item prior to City Council action on the item.

Documents pertaining to an agenda item received after the posting of the agenda are available for review in the City Clerk's office or at the meeting at which the item will be considered.

In compliance with the Americans with Disabilities Act (ADA), if you need special assistance to participate in this meeting due to your disability, please contact the City Clerk at (310) 377-1521 at least 48 hours prior to the meeting to enable the City to make reasonable arrangements to ensure accessibility and accommodation for your review of this agenda and attendance at this meeting.



City of Rolling Hills

INCORPORATED JANUARY 24, 1957

2 PORTUGUESE BEND ROAD, ROLLING HILLS, CA 90274 | (310) 377-1521

Item: 8.A.

Meeting Date: 10/27/2025

To: City Council
From: Christian Horvath, Assistant to the City Manager / City Clerk
Thru: Karina Bañales, City Manager
Subject: Approve Affidavit of Posting for the City Council Regular Meeting of October 27, 2025

Background:

None.

Discussion:

None.

Fiscal Impact:

None.

Recommendation:

Approve.

Attachments:

1. CL_AGN_251027_CC_AffidavitofPosting



Administrative Report

8.A., File # 2025-171

Meeting Date: 10/27/2025

To: MAYOR & CITY COUNCIL

From: Christian Horvath, City Clerk

TITLE

APPROVE AFFIDAVIT OF POSTING FOR THE CITY COUNCIL ADJOURNED REGULAR MEETING OF OCTOBER 27, 2025

EXECUTIVE SUMMARY

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) SS
CITY OF ROLLING HILLS)

AFFIDAVIT OF POSTING

In compliance with the Brown Act, the following materials have been posted at the locations below.

Legislative Body	City Council
Posting Type	Regular Meeting Agenda
Posting Location	2 Portuguese Bend Road, Rolling Hills, CA 90274 City Hall Window City Website: https://www.rolling-hills.org/government/agendas_meetings.php https://rollinghillsca.portal.civicclerk.com/
Meeting Date & Time	OCTOBER 27, 2025 7:00pm Open Session

As City Clerk of the City of Rolling Hills, I declare under penalty of perjury, the document noted above was posted at the date displayed below.

Christian Horvath, City Clerk

Date: October 24, 2025



City of Rolling Hills

INCORPORATED JANUARY 24, 1957

2 PORTUGUESE BEND ROAD, ROLLING HILLS, CA 90274 | (310) 377-1521

Item: 8.C.

Meeting Date: 10/27/2025

To: City Council
From: Christian Horvath, Assistant to the City Manager / City Clerk
Thru: Karina Bañales, City Manager
Subject: Approve the following Minutes of October 13, 2025: City Council Regular Meeting

Background:

None.

Discussion:

None.

Fiscal Impact:

None.

Recommendation:

Approve as presented.

Attachments:

1. CL_MIN_251013_CC_F



1. Call To Order

The City Council of the City of Rolling Hills met in person on the above date at 7:00 p.m. Mayor Pro Tem Dieringer presiding.

2. Roll Call

Councilmembers Present:	Mirsch, Black, Mayor Pro Tem Dieringer,
Councilmembers Absent:	Wilson, Mayor Pieper
Staff Present:	Karina Bañales, City Manager Christian Horvath, Assistant to the City Manager / City Clerk Samantha Crew, Management Analyst Robert Samario, Finance Operations Lead Consultant Nicolas Papajohn, City Attorney

3. Pledge Of Allegiance – Councilmember Mirsch

4. Presentations / Proclamations / Announcements – None

5. Approve Order of the Agenda

Motion by Councilmember Black, seconded by Councilmember Mirsch to approve the order of the agenda.
Motion carried unanimously with the following vote:

AYES:	Mirsch, Black, Mayor Pro Tem Dieringer
NOES:	None
ABSENT:	Wilson, Mayor Pieper

6. Blue Folder Items (Supplemental) – None

7. Public Comment on Non-Agenda Items

Public Comment: Cheryl Marcz, Tom Lieb, Melissa McNabb

8. Consent Calendar

8.A. Approve Affidavit of Posting for the City Council Regular Meeting of September 22, 2025

8.B. Approve Motion to Read by Title Only and Waive Further Reading of All Ordinances and Resolutions Listed on the Agenda

8.C. Approve the following Minutes of September 22, 2025: City Council Regular and Special Meetings

8.D. Payment of Bills

8.E. Republic Services Recycling Tonnage and Complaint Reports for August 2025

Motion by Councilmember Black, seconded by Councilmember Mirsch to approve the Consent Calendar. Motion carried unanimously with the following vote:

AYES: Mirsch, Black, Mayor Pro Tem Dieringer
NOES: None
ABSENT: Wilson, Mayor Pieper

9. Excluded Consent Calendar Items – None

10. Commission Items – None

11. Public Hearings – None

12. Discussion Items

12.A. Preliminary Year-End results for the Fiscal Year Ended June 30, 2025

Presentation by Finance Operations Lead Consultant Samario

Motion by Councilmember Black, seconded by Councilmember Mirsch to receive and file. Motion carried unanimously with the following vote:

AYES: Mirsch, Black, Mayor Pro Tem Dieringer
NOES: None
ABSENT: Wilson, Mayor Pieper

13. Matters From the City Council

Councilmember Mirsch requested an agenda item added to an upcoming meeting for discussion on crime statistics as presented bi-weekly in the Blue Newsletter and the recent addition of fire statistics.

Councilmember Black requested a future agenda item for potential City safety rules specific to e-bikes usage.

14. Matters From Staff

14.A. Review and approve the 2025 Holiday Open House Final Guest List

Presentation by Assistant to the City Manager / City Clerk Horvath

Motion by Mayor Pro Tem Dieringer seconded by Councilmember Mirsch to approve as presented with a few additions as discussed by the City Council. Motion carried unanimously with the following vote:

AYES: Mirsch, Black, Mayor Pro Tem Dieringer
NOES: None
ABSENT: Wilson, Mayor Pieper

At the suggestion of Councilmember Black, Mayor Pro Tem Dieringer re-ordered the agenda and moved to Item 14D.

14.D. Receive and file a verbal report on the Rolling Hills Community Association's request to host a Salvation Army donation drive in the City Hall parking lot

Presentation by City Manager Bañales

Motion by Councilmember Black, seconded by Councilmember Mirsch to approve the request as presented.
Motion carried unanimously with the following vote:

AYES: Mirsch, Black, Mayor Pro Tem Dieringer
NOES: None
ABSENT: Wilson, Mayor Pieper

Mayor Pro Tem Dieringer moved to back to Item 14B.

14.B. Receive and file an update on the Tennis Court ADA project's need for the City Manager to execute a Professional Services Agreement with Bolton Engineering for a construction support retainer at a not-to-exceed amount of \$1,500.

Presentation by Assistant to the City Manager / City Clerk Horvath

Public Comment: Melissa McNabb, Mark Knudson, Tom Lieb

Motion by Councilmember Black, seconded by Councilmember Mirsch to receive and file and instruct the City Manager to execute a professional services agreement with Bolton Engineering at a not-to-exceed amount of \$1,500. Motion carried unanimously with the following vote:

AYES: Mirsch, Black, Mayor Pro Tem Dieringer
NOES: None
ABSENT: Wilson, Mayor Pieper

14.C. Receive and file a Public Safety and Emergency Preparedness Update

Presentation by Management Analyst Crew

Motion by Councilmember Black, seconded by Councilmember Mirsch to receive and file. Motion carried unanimously with the following vote:

AYES: Mirsch, Black, Mayor Pro Tem Dieringer
NOES: None
ABSENT: Wilson, Mayor Pieper

15. Recess To Closed Session – None

16. Reconvene To Open Session – None

17. Adjournment: 8:36 p.m.

The meeting was adjourned at 8:36 p.m. on October 13, 2025. The next regular meeting of the City Council is scheduled to be held on Monday, October 27, 2025 beginning at 7:00 p.m. in the City Council Chamber at City Hall, 2 Portuguese Bend Road, Rolling Hills, California. It will also be available via City's website link at: <https://www.rolling-hills.org/government/agenda/index.php>

All written comments submitted are included in the record and available for public review on the City website.

Respectfully submitted,

Christian Horvath, City Clerk

Approved,

Jeff Pieper, Mayor



City of Rolling Hills

INCORPORATED JANUARY 24, 1957

2 PORTUGUESE BEND ROAD, ROLLING HILLS, CA 90274 | (310) 377-1521

Item: 8.D.

Meeting Date: 10/27/2025

To: City Council
From: Christian Horvath, Assistant to the City Manager / City Clerk
Thru: Karina Bañales, City Manager
Subject: Payment of Bills

Background:

None.

Discussion:

None.

Fiscal Impact:

None.

Recommendation:

Approve.

Attachments:

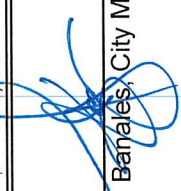
1. CL_AGN_251027_CC_PaymentOfBills_E

CITY OF ROLLING HILLS
AP26-008, ACH26-008
Check Run 10/22/2025

Check No.	Check Date	Payee	Description	Amount
029070	10/22/2025	4Leaf, Inc.	Sept 2025 - Code Enforcement Services	2,280.00
029071	10/22/2025	Amprical Services, Inc.	Sept 2025-DR4382_PJ0177-Eastfield Drive UU	2,020.00
029072	10/22/2025	Best Best & Krieger LLP	Sept 2025 - Land Use	1,387.00
029072	10/22/2025	Best Best & Krieger LLP	Sept 2025 Professional Services	23,387.00
029072	10/22/2025	Best Best & Krieger LLP	Sept 2025 Services-79 Eastfield Dr	800.00
CHECK TOTAL			\$ 25,574.00	
029073	10/22/2025	Cell Business Equipment	July to September 2025 - Copies	1,917.56
029074	10/22/2025	Southern California News Group	CL_PBN_251016_NOB_2025-04_CH_DF-EG	648.79
029074	10/22/2025	Southern California News Group	CL_PBN_251028_PH_PC_5RingbitRd_80Saddleback	696.92
CHECK TOTAL			\$ 1,345.71	
029075	10/22/2025	Executive Suite Services Inc.	September 2025 Janitorial Services	1,150.00
029076	10/22/2025	LA County Sheriff's Department	Sept 2025 - LASD Contract	38,145.72
029077	10/22/2025	MV CHENG AND ASSOCIATES	Sept 2025 Monthly Accounting Services	7,518.75
029078	10/22/2025	Palos Verdes Peninsula Unified	School Security Reimbursement 06/27/25 thru 09/25/25	708.55
029079	10/22/2025	PVS, Inc.	November 2025 Security Alarm Serv	168.00
ACH-983	10/7/2025	CalPERS	October 2025 Health Premium	14,155.95
ACH-984	9/30/2025	CalPERS	CalPERS Retirement Payroll Ending 09-30-25	3,605.11
ACH-985	10/16/2025	CalPERS	Unfunded Accrued Liability-Classic_FY25-26	7,608.92
ACH-986	10/16/2025	CalPERS	Unfunded Accrued Liability-PEPRA_FY25-26	137.25
ACH-987	9/25/2025	California Water Service Co.	Water usage 08-27-25 to 09-25-25_ROLLING#54654	2,857.11
ACH-988	9/25/2025	California Water Service Co.	Water Usage 08-27-25 to 09-25-25_RANCHO#74654	433.34
ACH-989	9/30/2025	Forum Info-Tech. Inc./Levelcloud	Sept 2025 AWS Usage Charges	844.03
ACH-990	9/30/2025	Pacific Premier Bank / FNBO	Pac Premier Sept 2025 Credit Card Stmt #0306	472.24
ACH-991	9/30/2025	Pacific Premier Bank / FNBO	Pac Prem Sept 2025 Credit Card Stmt #1746	7,592.13
ACH-992	9/30/2025	Pitney Bowes	Postage for September 2025	1,517.25

ACH-993	9/30/2025	Vantagepoint Transfer Agents -	Deferred Comp Contributions PR Ending 09-30-25	1,151.41
PR LINK	10/3/2025	PR LINK - Payroll & PR Taxes PR20	Payroll Processing Fee PR#20_09/17/25 - 09/30/25	91.81
PR LINK	10/3/2025	PR LINK - Payroll & PR Taxes PR20	Pay Period PR#20_09/17/25 - 09/30/25	20,307.03
REPORT TOTAL				141,601.87

I, Karina Banales, City Manager of Rolling Hills, California certify that the above demands are accurate and there is available in the General Fund a balance of
\$ 141,601.87 for the payment of above items.


Karina Banales, City Manager



City of Rolling Hills

INCORPORATED JANUARY 24, 1957

2 PORTUGUESE BEND ROAD, ROLLING HILLS, CA 90274 | (310) 377-1521

Item: 8.E.

Meeting Date: 10/27/2025

To: City Council
From: Christian Horvath, Assistant to the City Manager / City Clerk
Thru: Karina Bañales, City Manager
Subject: Republic Services Recycling Tonnage and Complaint Reports for September 2025

Background:

On July 1, 2020, the City entered into an Amended and Restated Agreement with Republic Services for the collection, transportation, recycling, composting, and disposal of solid waste, including recyclables, green waste, bulky items, and brush. The Agreement is scheduled to expire on June 30, 2029.

As part of this partnership, the city regularly receives and reviews Recycling Tonnage and Complaint Reports from Republic Services. These reports serve several important municipal, regulatory, and community functions.

Discussion:

The primary purpose of the Republic Services Recycling Tonnage and Complaint Reports is to provide the City with oversight and transparency regarding its waste management and recycling services. These reports enable the City to monitor the volume of waste and recyclable materials collected and processed, as well as identify any recurring service issues or resident complaints. By regularly reviewing these reports, the City can ensure that Republic Services is fulfilling its contractual obligations, promptly addressing service deficiencies, and making informed decisions related to public education and operational improvements. Additionally, the reports support compliance with recycling and waste diversion, while supplying essential data for planning and reporting to regulatory agencies.

Below are highlights of the types of reports and notes included:

Recycling Tonnage Report: Documents the total weight of recyclable materials collected, helping the City measure progress toward recycling and waste diversion goals and comply with mandated requirements.

Complaint Report: Logs resident complaints related to waste and recycling services—such as missed pickups or other service issues, to enable tracking of service quality and resolution of recurring concerns.

Red Tags Report: Records instances where a "red tag" is issued at an address, indicating a violation or another issue with waste practices.

Missed Pick-Up Report: Details incidents where scheduled waste pickups were missed, including the address, date, and resolution status.

Commercial Recycling: Commercial recycling materials are hauled to various transfer facilities, with a portion separated and recovered. Recovery rates from these facilities are reported monthly and applied to servicing areas.

Greenwaste Reporting: Greenwaste data in the Non-Franchise report may fluctuate monthly due to factors like changes in customer service types, load contamination, or data entry errors.

Resident Services: Residents may request one free roll-off container for green waste disposal once a year. Monthly Residential Franchise Reports highlight usage of these bins.

Diversion Requirements: Under the current Agreement between the City and Republic Services, Republic Services is required to achieve a minimum annual Diversion Rate of 30% for Residential Solid Waste Collection Services, or such amount as may be set in accordance with other changes in law which mandate certain actions of programs for municipalities. The City currently achieves compliance with California's recycling and waste diversion requirements rate of at least 50% by diverting green waste (such as yard trimmings and plant matter) from landfills and incorporating it into its overall waste management program.

ADDITIONAL INFORMATION

Free Residential Roll-Off Bin

As mentioned, the City offers residents the opportunity to request one free roll-off container annually for green waste disposal. According to the current Residential Franchise Reports, entries labeled "Greenwaste – Free Residential Roll-Off Bin" and "Trash-Free Residential Roll-Off Bin." Although the City does not provide free roll-off bins for regular trash collection, the presence of "Trash-Free Residential Roll-Off Bin" in the report may indicate one of two possibilities:

- When Republic Services retrieves the bin and returns it to their facility, they may have identified contamination in the green waste bin, such as non-green waste disposed of improperly.
- Alternatively, this may be due to data entry or keying errors that require correction.

Republic Services continues to work on the reporting of this item. It is important to note that the City is not covering the cost associated with "trash-free" roll-off bins.

Red Tag Report Abbreviations

COMM: This column refers to Commercial service status. While Republic Services uses a standard red-tag reporting template across all its service jurisdictions, the City of Rolling Hills does not have commercial waste service. Therefore, entries under "COMM" are marked as "NO" for applicable red tags within the City.

Fiscal Impact:

None.

Recommendation:

Receive and file.

Attachments:

1. VC_REP_2501020_Sept_TonnageReport
2. VC_REP_2501020_Sept_C&D_Report
3. VC_REP_2501020_Sept_CallLog_Redacted
4. VC_REP_251022_SeptemberComplaintList_Redacted

CITY OF ROLLING HILLS RESIDENTIAL FRANCHISE 2025

Year 2025
Diversion RequiY

Month	Commodity	Tons Collected	Tons Recovered	Tons Disposed	Diversion %
1	Greenwaste	128.08	128.08	-	100.00%
	Greenwaste - Free Residential Roll Off Bin	1.63	1.63	-	100.00%
	Trash	189.31	-	189.31	0.00%
	Trash - Free Residential Roll Off Bin	10.51	-	10.51	0.00%
	1 Total	329.53	129.71	199.82	39.36%
2	Greenwaste	102.30	102.30	-	100.00%
	Greenwaste - Free Residential Roll Off Bin	8.54	8.54	-	100.00%
	Recycle	4.35	2.02	2.33	46.46%
	Trash	181.14	-	181.14	0.00%
	Trash - Free Residential Roll Off Bin	16.57	-	16.57	0.00%
	2 Total	312.90	112.86	200.04	36.07%
3	Greenwaste	110.94	110.94	-	100.00%
	Recycle	14.41	7.66	6.75	53.17%
	Trash	199.27	-	199.27	0.00%
	3 Total	324.62	118.60	206.02	36.54%
4	Greenwaste	81.53	81.53	-	100.00%
	Recycle	0.28	0.13	0.15	48.11%
	Trash	201.63	-	201.63	0.00%
	Trash - Free Residential Roll Off Bin	19.37	-	19.37	0.00%
	4 Total	302.81	81.66	221.15	26.97%
5	Greenwaste	85.39	85.39	-	100.00%
	Recycle	11.61	5.69	5.92	49.00%
	Trash	214.00	-	214.00	0.00%
	5 Total	311.00	91.08	219.92	29.29%
6	Greenwaste	76.33	76.33	-	100.00%
	Recycle	0.83	0.43	0.40	51.54%
	Trash	236.54	-	236.54	0.00%
	Trash - Free Residential Roll Off Bin	10.97	-	10.97	0.00%
	6 Total	324.67	76.76	247.91	23.64%
7	Greenwaste	49.50	49.50	-	100.00%
	Recycle	9.34	4.63	4.71	49.61%
	Trash	279.22	-	279.22	0.00%
	Trash - Free Residential Roll Off Bin	2.29	-	2.29	0.00%
	7 Total	340.35	54.13	286.22	15.91%
8	Greenwaste	63.74	63.74	-	100.00%
	Greenwaste - Free Residential Roll Off Bin	2.85	2.85	-	100.00%
	Recycle	2.41	1.29	1.12	53.73%
	Trash	217.84	-	217.84	0.00%
	Trash - Free Residential Roll Off Bin	17.86	-	17.86	0.00%
	8 Total	304.70	67.88	236.82	22.28%
9	Greenwaste	63.05	63.05	-	100.00%
	Trash	203.25	-	203.25	0.00%
	Trash - Free Residential Roll Off Bin	13.83	-	13.83	0.00%
	9 Total	280.13	63.05	217.08	22.51%
Grand Total		2,830.71	795.74	2,034.97	28.11%

CITY OF ROLLING HILLS NON-FRANCHISE 2025

Year 2025
Diversion Requirement

Month	Commodity	Tons Collected	Tons Recovered	Tons Disposed	Diversion %
1	C&D	10.85	8.71	2.14	80.24%
	Greenwaste	14.33	14.33	-	100.00%
	Recycle	0.20	0.08	0.12	41.79%
	Trash	56.68	-	56.68	0.00%
1 Total		82.06	23.12	58.94	28.17%
2	C&D	5.26	4.22	1.04	80.24%
	Recycle	0.19	0.09	0.10	46.46%
	Trash	21.78	-	21.78	0.00%
2 Total		27.23	4.31	22.92	15.82%
3	C&D	3.67	2.94	0.73	80.24%
	Greenwaste	9.52	9.52	-	100.00%
	Recycle	0.33	0.17	0.16	52.66%
	Trash	58.05	-	58.05	0.00%
3 Total		71.57	12.64	58.93	17.66%
4	C&D	26.23	23.13	3.10	88.20%
	Recycle	0.21	0.10	0.11	48.11%
	Trash	18.30	-	18.30	0.00%
4 Total		44.74	23.23	21.51	51.93%
5	Recycle	0.22	0.10	0.12	46.21%
	Trash	31.39	-	31.39	0.00%
	Organics	0.04	0.03	0.01	69.07%
5 Total		31.65	0.13	31.52	0.40%
6	C&D	11.76	11.76	-	100.00%
	Recycle	0.16	0.08	0.08	51.54%
	Trash	30.42	-	30.42	0.00%
6 Total		42.34	11.84	30.50	27.97%
7	Recycle	0.25	0.12	0.13	48.54%
	Trash	65.70	-	65.70	0.00%
	Organics	0.01	0.01	0.00	70.96%
7 Total		65.95	0.13	65.82	0.19%
8	Recycle	0.18	0.10	0.09	53.73%
	Trash	35.07	-	35.07	0.00%
8 Total		35.26	0.10	35.16	0.28%
9	Greenwaste	6.48	6.48	-	100.00%
	Recycle	0.17	0.09	0.08	51.51%
	Trash	24.41	-	24.41	0.00%
9 Total		31.06	6.57	24.50	21.14%
Grand Total		431.86	82.06	349.79	19.00%



Republic Services
C&D Report

City of Rolling Hills
Reporting Period September-25

Disposal Site	Material	Loads Taken	Tons Collected
*No C&D to report this month			

Summary	
Row Labels	Sum of Tons Collected
(blank)	
Grand Total	



Republic Services Call Log Report

City: Rolling Hills

Year: 2025

Month/Quarter: 9

Summary of Calls by Type		
Final Call		
Final Call Type	Sub-Type	Total
3.Missed Pick Up	Missed Bulk Service	1
	Missed Yard Waste - Residential	3
3.Missed Pick Up Total		4
Grand Total		4

Republic Services Call Log Report

Final Call Type	Sub-Type	Case Number	Date/Time Opened	Date/Time Closed	Created By	Request Description	Resolution Comments	Customer Category	Account Number	Site	Account Name	Site Address	Phone
3.Missed Pick Up	Missed Bulk Service	20250902-222075391	9/2/2025 8:27 AM	9/4/2025 10:33 PM	Magdalena Delacruz Roza	(blank)	(blank)	RESI	9020002962	1	RESIDENT	3 LOWER BLACKWATER CYN RD ROLLING HILLS CA	(000) 000-0000
3.Missed Pick Up	Missed Yard Waste - Residential	20250924-223474247	9/24/2025 11:55 AM	9/26/2025 10:32 PM	Claudia S Daniels Canales	(blank)	(blank)	RESI	9020003672	1	CURRENT RESIDENT	4 HACKAMORE RD ROLLING HILLS CA	██████████
3.Missed Pick Up	Missed Yard Waste - Residential	20250926-223613474	9/26/2025 9:47 AM	9/30/2025 10:38 PM	Ebony Richmond	(blank)	(blank)	RESI	9020003672	1	CURRENT RESIDENT	4 HACKAMORE RD ROLLING HILLS CA	██████████
3.Missed Pick Up	Missed Yard Waste - Residential	20250927-223654771	9/27/2025 10:37 AM	10/1/2025 10:36 PM	Mona Carpio	(blank)	(blank)	RESI	9020003531	1	CURRENT RESIDENT	39 CREST RD W ROLLING HILLS CA	██████████

City of Rolling Hills - August 2025 Republic Services Complaint Log

Date of Issue	Time	Issue/Complaint	Resident Name	Resident Address	Republic contacted	Republic Reponse	Date Reponse	Time of Reponse	Resolved
9/4/2025		Missed Trash Collections		17 Chuckwagon Rd.	Lori Reyna	Lori Reyna			
9/5/2025		Missed Bulk Item Pickup for Over a Month		3 Lower Blackwater	Lori Reyna	Lori Reyna			
9/16/2025		Missed Trash Collection		4 Hillside Lane	Lori Reyna	Lori Reyna			
9/18/2025		Missed Bulk Pickup		36 Chuckwagon	Lori Reyna	Lori Reyna			



City of Rolling Hills

INCORPORATED JANUARY 24, 1957

2 PORTUGUESE BEND ROAD, ROLLING HILLS, CA 90274 | (310) 377-1521

Item: 10.A.

Meeting Date: 10/27/2025

To: City Council

From: Reina Schaetzel, Wildan Principal Planner

Thru: Karina Bañales, City Manager, Nicolas Papajohn, City Attorney

Subject: Zoning Case No. 25-033: Site Plan Review for the construction of a new 19-foot stable, non-exempt grading, expansion of building pad, walls to exceed 3 feet height not to exceed maximum 5 feet height, and other improvements; Conditional Use Permit for stable to exceed maximum 200 square feet; and Variances to exceed 40 percent disturbance and for construction in the front yard setback for the location at 1 Hackamore Road and finding the same exempt from the California Environmental Quality Act (Mahler & Nuccio) (Lot-30 EF)

Background:

Applicants' Requests

On February 28, 2025, an application was filed by Ben Cauthen of Cauthen Design, the architect representing property owners Perin Mahler and Melanie Nuccio ("Applicant"), for the real property located at 1 Hackamore Road, Rolling Hills (Lot 30-EF). The application requests approval of a Site Plan Review to construct a new 1,859-square-foot, two-story stable, conduct non-exempt grading, expand the existing building pad, and construct walls exceeding three feet in height, with a proposed maximum height of five feet. In addition, the application includes requests for a Conditional Use Permit for a stable with a loft greater than 200 square feet, and two variances: (1) construction in the front yard setback (subsequently withdrawn due to project redesign) and (2) to exceed the maximum 40 percent disturbed area permitted on the site. The architectural, site plans, grading plans, and elevations have been provided.

Zoning, Location, and Lot Description

The property located at 1 Hackamore Road is zoned RAS-1 with a gross lot area of 71,200 square feet (1.63 acres) and a net lot area of 47,070 square feet (1.08 acres). The lot has two building pads. The first building pad is 14,394 square feet and is developed with a 2,785-square-foot main residence built in 1949, a 661-square-foot attached garage, a 490-square-foot swimming pool, a 48-square-foot pool equipment area, and 242-square-foot sheds. The second building pad is 2,067 SF, and there is an existing 930-square-foot fenced corral located in the east portion of the property.

The lot is located on the corner of Hackamore Road and Eastfield Drive. The lot has a 20-foot-wide front road easement on Hackamore Road and a 30-foot front roadway easement on Eastfield Drive. The lot is an irregular-shaped parcel that fronts on Hackamore Road and ends at a cul-de-sac with a side yard located on Eastfield Drive. The lot is smaller in size, the building pad area is limited, and the entire north portion of the property, located behind the main residence, is sloped. The lot is a legal non-conforming lot because the net lot area is less than 1.25 acres, at 1.08 net acres. The Rolling Hills Municipal Code Section 17.24.045 states that the following reduced setback limits shall apply to properties in the RAS-1 zoning district having a net lot area of 1.25 acres or less, excluding roadway easement(s). Accordingly, the reduced front setback for the main residence is 30 feet, and the front

setback for the accessory structure is 50 feet. A vicinity map for the project site location has been provided.

Planning Commission Reviews:

1st Planning Commission Discretionary Review

At the July 24, 2025, field trip meeting, staff provided an overview of the project, the commissioners walked the site to review the silhouette, and discussed the nature of the proposed project. The applicants introduced the project and sought guidance from the commissioners as they planned to redesign it to address the view obstruction issues. The field trip was continued to the evening public hearing. All the commissioners were present, and there were five members of the public in attendance.

1st Field Trip Attendees:

- Perin Mahler (1 Hackamore Road) Property Owner
- Melanie Nuccio (1 Hackamore Road) Property Owner
- Ben Cauthen (1 Hackamore Road) Architect
- Leah Murch (4 Cinchring Road) Resident
- Richard Meyer (53 Eastfield Drive) Resident

At the July 24, 2025, evening public hearing, staff presented a PowerPoint Presentation of the project. The Planning Commission voted to continue the item to the August 19, 2025, meeting to provide the applicants more time to revise the plans to reduce the impact of the neighbor's obstruction of the ocean.

Project Proposal #1:

- Stable 2,093 SF
- No change to finished grade Equestrian Pad
- 20 Foot Maximum Stable Height
- 602 Total Cubic Yards of Grading
- Use Existing Stable Access
- 30 Foot Front Yard Setback

2nd Planning Commission Discretionary Review (Continued from July 24, 2025 Meeting)

At the August 19, 2025, field trip meeting, staff presented a brief overview and changes to the scope of the project. The site was re-staked and re-silhouetted, and the commissioners and attendees walked the site. The main discussion involved moving the stable onto the rear setback to resolve the view obstructions for 6 Hackamore Road. In addition, the commissioners, staff, and all the attendees walked over to 4 Hackamore Road and 6 Hackamore Road to get a firsthand look at the view obstructions of the proposed stable. There was no obstruction at 4 Hackamore Road, but a view obstruction was visible from the living room at 6 Hackamore Road, blocking the ocean view. All the Commissioners were present, and there were 10 members of the public in attendance.

2nd Field Trip Attendees:

- Jim Aichele (14 Crest Road W.) Resident
- Ben Cauthen (1 Hackamore Road) Architect
- Melanie Nuccio (1 Hackamore Road) Property Owner
- Perin Mahler (1 Hackamore Road) Property Owner
- Richard Meyer (53 Eastfield Drive) Resident
- Greg Noet (8 Hackamore Road) Resident
- Bert Balch (6 Hackamore Road) Resident
- David Brown (4 Hackamore Road) Resident
- Joan Brown (4 Hackamore Road) Resident
- Judith Haenel (31 Eastfield Drive) Resident

At the August 19, 2025, evening public hearing, staff presented a PowerPoint presentation, and the main discussion was to move the stable into the rear setback. The Planning Commission unanimously voted to continue the meeting to the next public hearing on September 16, 2025, and the project would not need to be re-staked or re-silhouetted; therefore, no field trip would be required. The Planning Commissioners directed the applicants to revise the project to move the stable out of the front setback and into the rear setback to address the view obstruction.

2nd Project Proposal #2 (Changes):

- Stable 1,859 SF (less 234 SF)
- Finished grade Equestrian Pad lowered by 2 feet
- Stable Footprint moved 9 feet southeast
- 19 Foot Maximum Stable Height (lowered by 1 foot)
- 1,400 Cubic Yards of Grading
- Shift Stable Access 9 feet North (requires Traffic Commission Review)
- 50 Foot Front Yard Setback (staff reviewed RHMC code for setbacks for accessory structures)

3rd Planning Commission Discretionary Review (Continued from the August 19, 2025 Meeting)

The applicants revised the plans to address the neighbors' view on obstruction issues, including:

- Shifting the existing footprint of the stable 15 feet into the rear setback,
- Lowering the building pad by 3 feet, and
- Lowering the building height by 1 foot.

The grading quantities have remained the same because the stable was shifted onto the rear setback, and the stable access pathway will remain in the existing access (no changes). The project was presented at the September 16, 2025, Planning Commission meeting for approval.

3rd Project Proposal #2 (Changes):

- Stable 1,859 SF (same as 2nd Proposal)
- Equestrian Pad 2 lowered by an additional 2 feet (4 feet total)
- Stable moved 15 feet southeast
- 19 Foot Maximum Stable Height (lowered by 1 foot)
- 1,400 Cubic Yards of Grading (Same as 2nd Proposal)
- Stable access from existing stable access driveway (no Traffic Commission Review)
- The stable was removed from the 50-foot front setback and relocated 25 feet into the rear setback.

Discussion:

Applicants' Requests

On February 28, 2025, an application was filed by Ben Cauthen of Cauthen Design, the architect representing property owners Perin Mahler and Melanie Nuccio ("Applicant"), for the real property located at 1 Hackamore Road, Rolling Hills (Lot 30-EF). The application requests approval of a Site Plan Review to construct a new 1,859-square-foot, two-story stable, conduct non-exempt grading, expand the existing building pad, and construct walls exceeding three feet in height, with a proposed maximum height of five feet. In addition, the application includes requests for a Conditional Use Permit for a stable with a loft greater than 200 square feet, and two variances: (1) construction in the front yard setback, and (2) to exceed the maximum 40 percent disturbed area permitted on the site. The architectural, site plans, grading plans, and elevations have been provided (Attachment 9).

Site Plan Review

Pursuant to Rolling Hills Municipal Code (RHMC) Section 17.46.020(A), a Site Plan Review is required for the construction of any new building or structure, as well as for certain types of grading and retaining walls. The project does not meet the exemptions in Title 15 in that grading consists of 1,100 CY total. The applicants are requesting a Site Plan Review for several components of the proposed project at 1 Hackamore Road, including the construction of a new stable, grading activities, expansion of the existing building pad, and construction of retaining walls exceeding permitted height thresholds.

Stable Construction

In accordance with RHMC Section 17.46.020(A)(2), a Site Plan Review is required for the construction of any new building or structure. The applicants are proposing to construct a new two-story, 1,859-square-foot stable, which triggers the need for this review.

Grading

Under RHMC Section 17.46.020(A)(1), any non-exempt grading requires a Site Plan Review. The project proposes a total of 1,400 cubic yards of grading, consisting of 650 cubic yards of cut and 50 cubic yards of over-excavation, along with 650 cubic yards of fill and 50 cubic yards of re-compaction. All grading will be balanced on-site. Since this grading exceeds the exemption thresholds outlined in the code, it requires a formal Site Plan Review.

Building Pad Expansion

The existing building pad (Pad 2) is currently 2,067 square feet, which is significantly below the City's building pad guideline of 12,000 square feet. The project proposes to expand the pad to 5,649 square feet and raise the rear portion by approximately three feet to create a level area suitable for the stable and corral. This expansion involves grading that exceeds the maximum allowable cut and fill of three feet and impacts more than 2,000 square feet of surface area, thus requiring a Site Plan Review.

The existing building pad (Pad 2) structural coverage is 0 square feet or 0%, and the project proposes to add 2,350 square feet or 40.5% building structural coverage, for a total of 2,350 or 40.5% building structural coverage. The Project exceeds the minimum 30% building pad coverage guideline by 10.5% percent.

Retraining Walls

The project also includes the construction of retaining walls that exceed the three-foot height limit established in the RHMC. Specifically, the rear portion of the stable involves a cut into the slope up to six feet deep. The proposed retaining wall behind the stable will reach a height of approximately 4.75 feet, not to exceed the five-foot maximum. This element also requires Site Plan Review due to its height.

Conditional Use Permit (CUP)

The project complies with all the requirements for a stable over 200 square feet with a Conditional Use Permit in the RHMC. Section 17.18.060 states that the stable can encroach 25 feet from the rear property line. The stable encroaches 13.6 feet into the rear setback, and is 36.4 feet from the rear property line and existing bridal easement. As per Rolling Hills Municipal Code Section 17.80.050, a Conditional Use Permit is required for a stable greater than 200 square feet. The applicant is requesting approval for a Conditional Use Permit for the proposed 1,859-square-foot stable.

Conditional Use Permit for a stable greater than 200 square feet:

The first floor of the stable is 1,497 square feet and will include three (3) indoor stalls, two (2) storage/equipment rooms, two (2) storage rooms, and two (2) bathrooms. The second floor of the stable is 362 square feet and includes two (2) storage rooms and is open below.

Variance

Variance to exceed the 40% Disturbance

The existing 51.8% disturbed area already exceeds the maximum permitted 40% by 11.8%. The smaller lot size, easements, setbacks, and existing topography limit the size and location of any proposed improvements to the site. The buildable area is limited; therefore, the proposed location for the stable is the only place that is feasible. The project proposes a total of 8,849 square feet, or 18.8% for a total of 33,268 square feet, or 70.6% total disturbed area. The exceedance of the disturbed area will allow the stable and corral to be utilized for equestrian uses. The corral does not count towards lot or building pad coverage. Therefore, the applicants are requesting a variance to increase the disturbance and exceed the 40% maximum allowed.

MUNICIPAL CODE COMPLIANCE

Area of Disturbance

The proposed 70.6% disturbed area will exceed the maximum permitted 40% by 30.6%.

Stable in Rear Setback

Access to Stable

There is an existing dirt access pathway accessible that fronts on Hackamore Road from the cul-de-sac that will be used to gain access to the proposed stable. The applicants have revised the plans to use the same existing driveway as the stable access. Therefore, a Traffic Commission Review is not required.

The stable can also be accessed from the proposed stairway that will extend from Building Pad 1 to Building Pad 2. The stairs are on grade, so there is no grading. The stairway has been designed to follow the natural contours of the existing slope.

Height of Stable

The highest point of the ridgeline of the new stable is 19 feet in height.

Corral

There is an existing 930-square-foot corral. The new corral will be relocated to the rear of the property, and it will encroach 25 feet into the rear setback. The new corral is 550 square feet and located in the back of the stable. RHMC Section 17.18.040.4(c) states that permitted uses with administrative approval state that the corral shall not be permitted in the front yard of the lot and shall be located no less than twenty-five feet from the side property line in the RAS-1 zone, no less than twenty-five feet from the side roadway easement line and no closer than twenty-five feet from the rear property line. The corral is 25 feet from the rear setback and 25 feet from the bridle trail.

Lot Coverage

The Project complies with the Development Standards in the Rolling Hills Municipal Zoning Code. The existing structural coverage is 4,351 square feet or 9.2%, and the project proposes a net of 2,350 square feet or 5.0%, for a total of 6,701 square feet or 14.2%. This is still under the maximum allowed 20% structural coverage.

The existing flatwork coverage is 5,248 square feet or 11.1%, and the project proposes 774 or 1.6% square feet of structural coverage for a total of 6,022 square feet or 12.7%. This is still under the maximum allowed 15% structural coverage.

The total overall structural and flatwork coverage will result in 12,723 square feet or 27%, which is still well under the maximum allowed 35% structural and flatwork coverage. See Attachment 2, the Development Table, for more details.

Public Noticing and Correspondence

The project was first noticed in the Daily Breeze on July 14, 2025, and public notices were mailed to residents within a 1,000 ft radius from the development on July 11, 2024, for the July 24, 2025, Planning Commission meeting.

The project was re-noticed for a second time because the project required an additional variance to construct an accessory structure in the 50-foot front yard setback. Neighbors within a 1,000-foot radius were re-notified of the public hearings, and a re-notice was published in the Daily Breeze on August 9, 2025, for the August 19, 2025, Planning Commission meeting.

The project was continued on the September 16, 2025, Planning Commission Agenda and did not need to be re-noticed because there were no additional entitlements.

Public Participation

On July 14, 2025, staff received an email from Greg Noel, a resident of 8 Hackamore Road, expressing concerns about the proposed project. A copy of the email is included as Attachment 5. The following day, Mr. Noel visited City Hall to review the project plans in person. During his visit, he expressed concern that the proposed stable would obstruct the ocean view from the neighboring property at 6 Hackamore Road.

On July 15, 2025, the applicants, Melanie Nuccio (Property Owner), Perin Mahler (Property Owner), and Ben Cauthen (Architect), came into City Hall and met with staff to request a change to the proposed project to address the view obstructions.

On August 16, 2025, staff received an email from Bertram Balch, a resident of 6 Hackamore Road, expressing his concerns about the stable obstructing the ocean view from the living room by 75%. He provided a photo of the view from his living room (Attachment 7). The applicants had moved the structure by 9 feet, but he recommended that the stable be moved further into the rear to preserve the existing view.

On August 19, 2025, staff received an email from Greg Noel in favor of moving the stable into the rear setback (Attachment 7).

Environmental Review

The proposed project has been determined not to have a significant effect on the environment and is categorically exempt from the provisions of CEQA pursuant to Section 15303 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, which exempts accessory structures, including stables.

CRITERIA FOR SITE PLAN REVIEW

17.46.050 - Required Site Plan Review findings

A. The Commission shall be required to make findings in acting to approve, conditionally approve, or deny a Site Plan Review application.

B. No project which requires Site Plan Review approval shall be approved by the Commission, or by the City Council on appeal, unless the following findings can be made:

1. The project complies with and is consistent with the goals and policies of the general plan and all requirements of the zoning ordinance;
2. The project substantially preserves the natural and undeveloped state of the lot by minimizing building coverage. Lot coverage requirements are regarded as maximums, and the actual amount of lot coverage permitted depends upon the existing buildable area of the lot;
3. The project is harmonious in scale and mass with the site, the natural terrain, and the surrounding residences;
4. The project preserves and integrates into the site design, to the greatest extent possible, existing topographic features of the site, including surrounding native vegetation, mature trees, drainage courses, and land forms (such as hillsides and knolls);
5. Grading has been designed to follow natural contours of the site and to minimize the amount of grading required to create the building area;
6. Grading will not modify existing drainage channels nor redirect drainage flow, unless such flow is redirected into an existing drainage course;
7. The project preserves surrounding native vegetation and mature trees and supplements these elements with drought-tolerant landscaping which is compatible with and enhances the rural character of the community, and landscaping provides a buffer or transition area between private and public areas;
8. The project is sensitive and not detrimental to the convenient and safe movement of pedestrians and vehicles; and
9. The project conforms to the requirements of the California Environmental Quality Act.

If all of the above findings cannot be made with regard to the proposed project, or cannot be made even with changes to the project through project conditions imposed by City staff and/or the Planning Commission, the site plan review application shall be denied.

CRITERIA FOR VARIANCES

17.38.050 Required Variance findings.

In granting a variance, the Commission (and Council on appeal) must make the following findings:

1. That there are exceptional or extraordinary circumstances or conditions applicable to the property that do not apply generally to other properties in the same vicinity and zone;
2. That such variance is necessary for the preservation and enjoyment of substantial property rights possessed by other properties in the same vicinity and zone, but which is denied the property in question;
3. That the granting of such variance will not be materially detrimental to the public welfare or injurious to properties or improvements in the vicinity;
4. That in granting the variance, the spirit and intent of this title will be observed;
5. That the variance does not grant special privilege to the applicant;
6. That the variance is consistent with the portions of the County of Los Angeles Hazardous Waste Management Plan relating to siting and siting criteria for hazardous waste facilities; and
7. That the variance request is consistent with the general plan of the City of Rolling Hills.

CRITERIA FOR APPROVAL OF CONDITIONAL USE PERMIT

17.42.050 Basis for approval or denial of Conditional Use Permit.

The Commission (and Council on appeal), in acting to approve a conditional use permit application, may impose conditions as are reasonably necessary to ensure the project is consistent with the General Plan, compatible with surrounding land use, and meets the provisions and intent of this title. In making such a determination, the hearing body shall find that the proposed use is in general accord with the following principles and standards:

1. That the proposed conditional use is consistent with the General Plan;
2. That the nature, condition, and development of adjacent uses, buildings, and structures have been considered, and that the use will not adversely affect or be materially detrimental to these adjacent uses, building, or structures;
3. That the site for the proposed conditional use is of adequate size and shape to accommodate the use and buildings proposed;
4. That the proposed conditional use complies with all applicable development standards of the zone district;
5. That the proposed use is consistent with the portions of the Los Angeles County Hazardous Waste Management Plan relating to siting and siting criteria for hazardous waste facilities;
6. That the proposed conditional use observes the spirit and intent of this title.

Fiscal Impact:

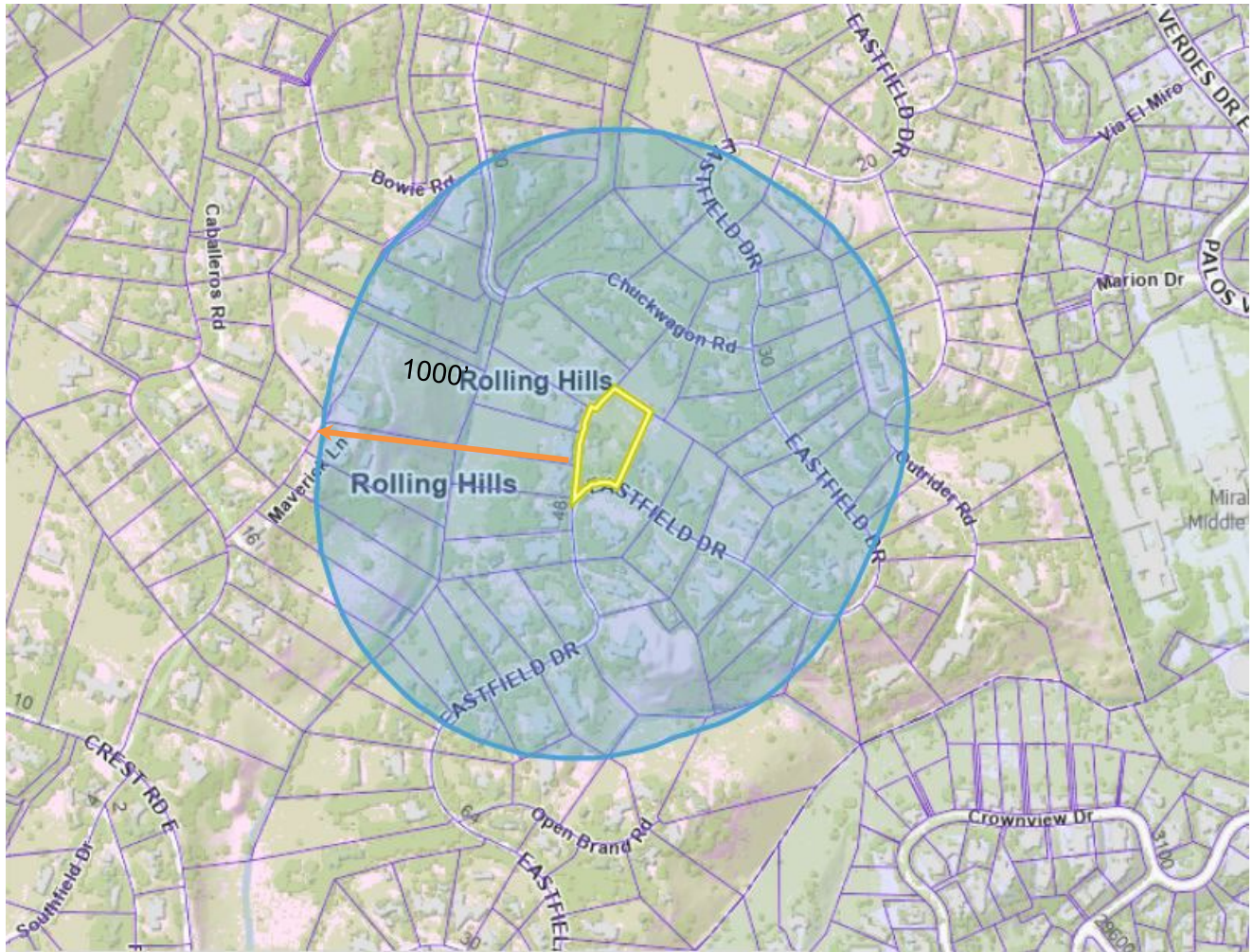
None.

Recommendation:

Receive and File.

Attachments:

1. Attachment 1: PL_ADR_250911_1HackamoreRD_RadiusMap
2. Attachment 2: PL_ADR_250911_1HackamoreRd_DevelopmentTable_Draft
3. Attachment 3: PL_ADR_250911_1HackamoreRd_VicinityMap_Google
4. Attachment 4: PL_ADR_1HackamoreRd_ZC25-033_Project Comparison Table
5. Attachment 5: 2025-08_PC_Resolution_1HackamoreRD_ZC25-033_F
6. Attachment 6: PL_ADR_250908_1HackamoreRd_ZC25-033_Plans
7. Attachment 7 PL_ADR_251027_Public Comment



City of Rolling Hills

ROLLING HILLS, CA 90274

TITLE VICINITY MAP

CASE NO. Zoning Case No. 25-033

Conditional Use Permit, Variance, & Site Plan Review

OWNER Mahler & Nuccio

ADDRESS 1 Hackamore Road, Rolling Hills 90274

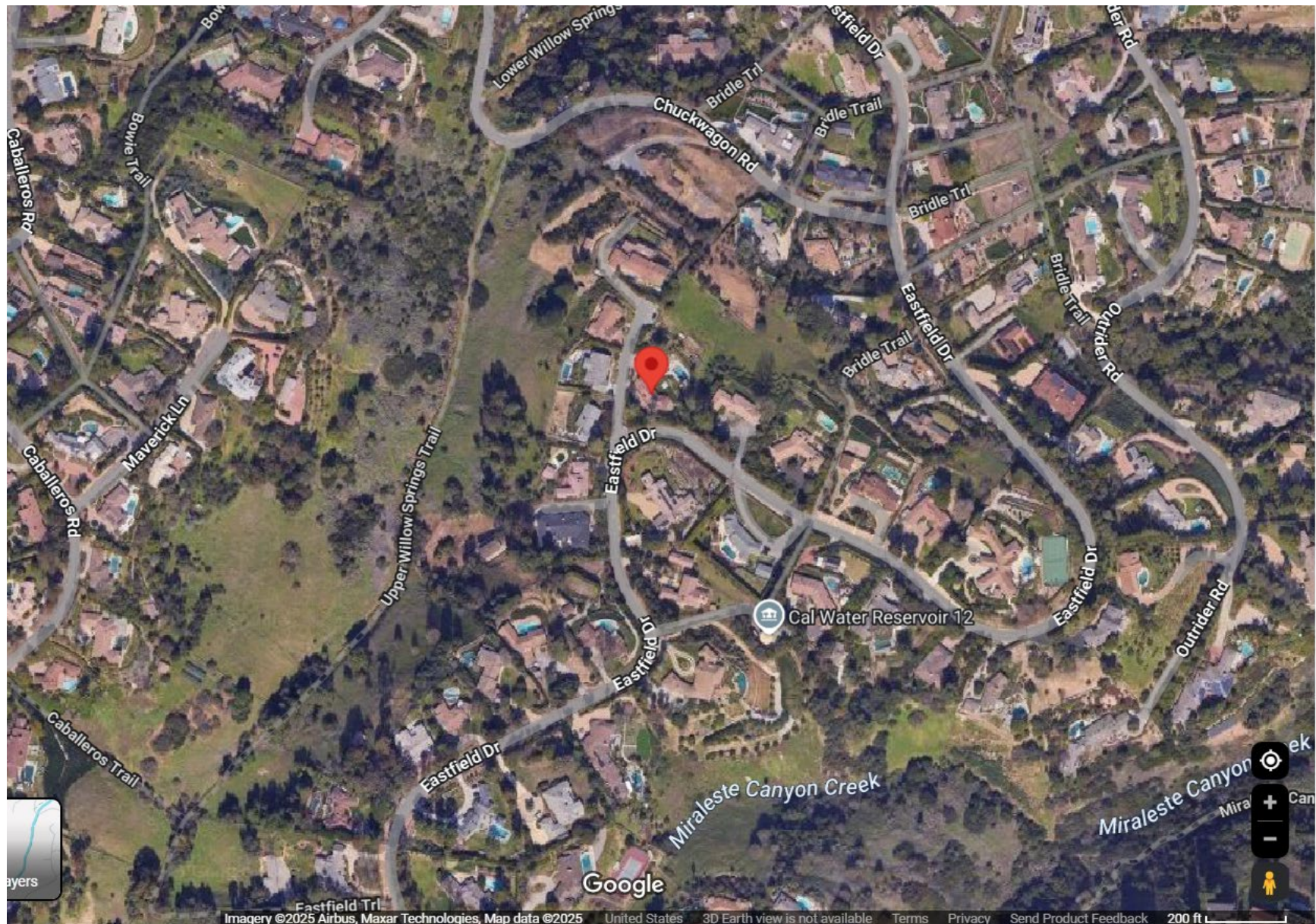
SITE



Development Table
Zoning Case No. 25-033
1 Hackamore Road

Site Plan Review & Conditional Use Permit	EXISTING	PROPOSED	TOTAL
RA-S- 1 Zone	SINGLE FAMILY RESIDENCE, ATTACHED GARAGE, POOL	STABLE, WALLS, & GRADING	
Net Lot Area	(1.08 AC) 47,070 SF	0 SF	(1.08 AC) 47,070 SF
Residence	2,785 SF	0 SF	2,785 SF
Garage	661 SF	0 SF	661 SF
Swimming Pools/Spa	490 SF	0 SF	490 SF
Pool Equipment	48 SF	0 SF	48 SF
Guest House	0 SF	0 SF	0 SF
Cabana	0 SF	0 SF	0 SF
Stable minimum: 450 SF	0 SF	1,859 SF	1,859 SF
Corral minimum: 550 SF	915 SF	550 SF	550 SF
Recreation Court	0 SF	0 SF	0 SF
Attached Covered Porches	0 SF	491 SF	491 SF
Entryway/Porte Cochere, Breezeways	125 SF	0 SF	125 SF
Attached Trellises	0 SF	0 SF	0 SF
Shed	42 SF	0 SF	42 SF
Outdoor Kitchen	200 SF	0 SF	200 SF
Service Yard	0 SF	0 SF	0 SF
Other	0 SF	0 SF	0 SF
Basement Area	0 SF	0 SF	0 SF
Depth of Basement	0	0	0
Primary Driveway	1,271 SF	0 SF	1,271 SF
Paved walkways/Patio Areas/Courtyards	2,627 SF	774 SF	3,446 SF
Pool Deck	1,305 SF	0 SF	1,305 SF
Other Paved Driveways, Road Easements, Parking Pads	0 SF	0 SF	304 SF
Grading (balanced onsite)	0 CY	700 CY CUT 700 CY FILL	1,400 CY TOTAL
Structural Lot Coverage	4,351 (8.43%)	2,350 (5.0%)	6,701(14.2%)
Flatwork Lot Coverage	5,248 SF (11.1%)	774 SF (1.6%)	6,022 SF (12.7%)
Total Lot Coverage (Structures and Flatwork)	9,599 SF (20.4%)	3,124 SF (6.6%)	12,723 SF (27%)
Building Pad 1 Coverage 14,394 SF Existing Pad Area	4,351 SF (30.23 %) 14,394 SF Existing Pad Area	0 SF (0%) 0 SF Proposed Pad Area	4,351 SF (30.23 %) 14,394 SF Total Pad Area
Building Pad 2 Coverage 2,067 SF Existing Pad Area (30 % Maximum Guideline)	0 SF (0 %) 2,067 SF Existing Pad Area	2,350 SF (40.5%) 3,740 SF Proposed Pad Area	2,350 SF (40.5%) 5,649 SF Total Pad Area
Total Disturbed Area (40% maximum)	24,419 SF (51.8%)	8,849 SF (18.8%)	33,268 SF (70.6%)
Building Heights Maximum Stable: 23 FT Maximum	0 FT	19 FT	19 FT

Vicinity Map: 1 Hackamore Road



Project Comparison Table

1 st Proposal 7/24/25	2 nd Proposal 8/19/25 Meeting	3 rd Proposal 9/16/2025 Meeting
Stable 2,093 SF	Stable 1,859 SF (less 234 SF)	Stable 1,859
Building Pad 2 (n/a)	Building Pad 2 lowered by 2 feet	Building Pad 2 lowered 2 more feet (total 4 feet)
Stable Foot Print (n/a)	Stable Footprint moved 9 feet back	Stable Footprint moved 15 Feet back (total 24 ft)
20 Foot Maximum Stable Height	19 Foot Maximum Stable Height (lowered by 1 foot)	19 Foot Maximum Stable Height
602 Cubic Yards of Grading	1,400 Cubic Yards of Grading	1,400 Cubic Yards of Grading
Use Existing Stable Access	Shift Stable Access 9 feet North (requires Traffic Commission Review)	Stable access from existing stable access driveway (no Traffic Commission Review)
30 Foot Front Yard Setback	50 Foot Front Yard Setback (staff reviewed RHMC code for setbacks for accessory structures)	The stable removed from 50 FT front setback and relocated 25 feet into rear setback

RESOLUTION NO. 2025-08

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROLLING HILLS GRANTING APPROVAL OF ZONING CASE NO. 25-033: SITE PLAN REVIEWS FOR THE CONSTRUCTION OF A NEW 19-FOOT STABLE, NON-EXEMPT GRADING, EXPANSION OF BUILDING PAD, WALLS TO EXCEED 3 FEET HEIGHT NOT TO EXCEED MAXIMUM 5 FEET HEIGHT, AND OTHER IMPROVEMENTS; CONDITIONAL USE PERMIT FOR STABLE TO EXCEED MAXIMUM 200 SQUARE FEET; AND VARIANCES TO EXCEED 40 PERCENT DISTURBANCE AND FOR CONSTRUCTION IN THE FRONT YARD SETBACK FOR THE LOCATION AT 1 HACKAMORE ROAD AND FINDING THE SAME EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (MAHLER & NUCCIO) (LOT-30 EF)

THE PLANNING COMMISSION OF THE CITY OF ROLLING HILLS DOES HEREBY FIND, RESOLVE, AND ORDER AS FOLLOWS:

Section 1. On February 28, 2025, an application was duly filed by Ben Cauthen of Cauthen Design, the owners' architect ("Applicant"), on behalf of the property owner, Perin Mahler and Melanie Nuccio, with respect to the real property located at 1 Hackamore Road, Rolling Hills (LOT 30-EF) requesting: a Site Plan Review to construct a new, 1,859 square feet, 19-foot stable, non-exempt grading, expand the existing building pad, and construct walls to exceed 3 feet height (maximum 5 feet height); Conditional Use Permit for a 19-foot stable than 200 square feet, and variance to exceed the maximum 40% disturbed area and variance for the construction in the front yard setback.

Section 2. The property located at 1 Hackamore Road is zoned RAS-1 with a gross lot area of 70,612 square feet (1.62 acres) and a net lot area of 47,070 square feet (1.08 acres). The lot has two building pads. The first building pad is 14,394-square-feet and is developed with a 2,785-square-foot main residence built in 1949, 661-square-foot attached garage, 490-square-foot swimming pool, 48-square-foot pool equipment area, and 242-square-foot sheds. The second building pad is 2,067 square feet and there is an existing 930-square-foot fenced corral located in the west portion of the property.

Section 3. The Planning Commission conducted duly noticed public hearings to consider the application at a field trip meeting and regular meeting on July 24, 2025. Neighbors within a 1,000-foot radius were notified of the public hearings and a notice was published in the Daily Breeze on July 14, 2025. The Applicants were notified of the public hearings in writing by first class mail and were in attendance at the hearings. At the evening public hearing meeting, on July 24, 2025, the Planning Commission continued the public hearing to August 19, 2025, to give the applicants more time to redesign the view obstruction, height, and pad of the stable.

The project was re-noticed because the project required an additional variance to construct within the 50-foot front yard setback. Neighbors within a 1,000-foot radius were re-notified of the public hearings and a re-notice was published in the Daily Breeze on August 9, 2025. At the August 19, 2025 morning field trip meeting, staff provided a brief overview of the

project and the Planning Commissioners walked the project site. The meeting was continued to the evening public hearing.

Section 4. The Planning Commission finds and determines that the proposed Project is exempt from environmental review under the California Environmental Quality Act (CEQA) Guidelines pursuant to Section 15303, Class 3 (New Construction or Conversion of Small Structures), which exempts the construction and location of a limited number of new, small facilities or structures, including accessory structures, including but not limited to garages, carports, patios, swimming pools and fences. Here, the proposed Project includes the construction of a new stable, non-exempt grading, retaining walls to exceed 3 feet height (maximum 5 feet height), and other improvements. Accordingly, the Project qualifies for the exemption pursuant to Section 15303. Further, no exceptions to the categorical exemption apply, as there is no reasonable possibility that the Project will have a significant effect on the environment, due to unusual circumstances. Much of the site has already been graded and developed.

Section 5. Site Plan Review is required for construction of any new building or structure pursuant to Rolling Hills Municipal Code (RHMC) Section 17.46.020(A)(2). Site Plan Review is required for non-exempt grading, building pad expansion, and improvements pursuant to Rolling Hills Municipal Code (RHMC) Sections 17.46.020(A)(1), and retaining walls to exceed a height of 3 feet (up to a maximum of 5 feet) pursuant to RHMC Section 17.16.190(F). With respect to the Site Plan Review for the development, the Planning Commission hereby makes the following findings:

A. The Project complies with and is consistent with the goals and policies of the General Plan and all requirements of the zoning ordinance.

The proposed development is compatible with the General Plan and Zoning ordinance. The proposed structures comply with the General Plan's land use policy to support retention of the City's rural and equestrian character. The 19-foot stable will comply with the development standards in the Rolling Hills Municipal Code. The project is consistent with the Land Use Element Policy 1.1 as it will not change the lot size and is consistent with Land Use Element Goal 2 which aims to accommodate development that is compatible with and complements existing land uses. Here the project is compatible with existing properties in the same zone having equestrian uses.

The Project complies with all of the development standards in the Rolling Hills Municipal Code. The Project's proposed disturbed area is 70% of the net lot area. Although the disturbance exceeds the 40% maximum permitted in the RA-S zone, the proposed grading for the equestrian use will promote the rural, equestrian aesthetic of Rolling Hills. The total grading for the 19-foot stable, retaining walls, and second building pad expansion is 1,400 cubic yards that will be balanced onsite. The maximum 5-foot-high walls located along the rear of stable comply with and are consistent with the goals and policies of the General Plan and all requirements of the Zoning Ordinance. the existing grade will be lowered 3-feet in depth, which will reduce the visual impact. The existing 2,067 square foot secondary building pad will be expanded by adding 3,740 square feet for a total of 5,807 square feet. Grading will be balanced on site

B. The project substantially preserves the natural and undeveloped state of the lot by minimizing building coverage. Lot coverage requirements are regarded as maximums, and the actual amount of lot coverage permitted depends upon the existing buildable area of the lot.

The topography and the configuration of the lot have been considered, and the project will not adversely affect or be materially detrimental to adjacent uses, buildings, or structures; the project is utilizing the existing corral area of the lot to develop the stable and corral with minimal grading. The project will be on the existing lower-level pad that will be expanded and which enables project elements to be the least intrusive to surrounding properties. Further, the project will be a sufficient distance from nearby residences so views and privacy of surrounding neighbors will not be impacted.

C. The project is harmonious in scale and mass with the site, the natural terrain and surrounding residences.

The proposed development, as conditioned, is harmonious in scale and mass with the site, and is consistent with the scale of the neighborhood when compared to other stables and corrals in the vicinity of said lot. The development plan takes into consideration the visibility of the project from Hackamore Road and Eastfield Drive. Portions of the lot will be left undeveloped and the graded slopes covered with ground cover.

D. The project preserves and integrates into the site design, to the greatest extent possible, existing topographic features of the site, including surrounding native vegetation, mature trees, drainage courses and land forms (such as hillsides and knolls).

There will be no significant changes to the overall drainage features on the lot. The proposed project is located on an existing building pad. There will be minimal impact to site design, vegetation, and mature trees. Drainage will not change and will follow the natural drainage courses of the lot.

E. Grading has been designed to follow natural contours of the site and to minimize the amount of grading required to create the building area.

Grading will be balanced on site, and dirt will be imported. The project has been designed to follow natural contours of the site and minimize grading. The proposed grading is 700 cubic yards of cut, 700 cubic yards of fill, for a total of 1,400 cubic yards of grading. All dirt will be balanced onsite.

F. Grading will not modify existing drainage channels nor redirect drainage flow, unless such flow is redirected into an existing drainage course.

Grading will not modify existing drainage channels nor redirect drainage flow. Drainage will not change and will follow the natural drainage courses of the lot.

G. The project preserves surrounding native vegetation and mature trees and supplements these elements with drought-tolerant landscaping which is compatible with

and enhances the rural character of the community, and landscaping provides a buffer or transition area between private and public areas.

Surrounding native vegetation and mature trees will not be affected or will be replaced. The development will be considerate of the environment and will enhance the rural character of the community. The graded slopes will be planted with drought-tolerant ground cover. As such, the rural character of the community is maintained and privacy is maintained with neighbors.

H. The project is sensitive and not detrimental to the convenience and safety of circulation for pedestrians and vehicles.

The project is safe and is not a detriment to the safe circulation of pedestrians and vehicles. There are no changes to Building Pad 1, and all of the driveway and pathways will remain the same. As for Building Pad 2, at the cul-de sac, there is an existing secondary unpaved driveway access that leads to the existing corral area.

I. The project conforms to the requirements of the California Environmental Quality Act (CEQA).

The Project is exempt from the CEQA Guidelines pursuant to Section 15303, Class 3 (New Construction or Conversion of Small Structures), which exempts the construction and location of a limited number of new, small facilities or structures, including single family residence and accessory structures, including but not limited to garages, carports, patios, swimming pools and fences. Here, the Project includes construction of a new 19-foot stable, non-exempt grading, expansion of building pad, and retaining walls to exceed 3 feet height (maximum 5 feet height). Accordingly, the Project qualifies for the exemption pursuant to Section 15303. Further, no exceptions to the exemption apply; there is no reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances. Much of the site has already been graded and developed.

Section 6. Conditional Use Permit. Section 17.16.040(A)(6) of the Rolling Hills Municipal Code (RHMC) permits approvals construction of a new 19-foot stable that exceeds 200 square feet is subject to the conditions in Section 17.18.060(A). With respect to the Conditional Use Permits, the Planning Commission finds as follows:

A. That the proposed conditional use is consistent with the General Plan.

The granting of Conditional Use Permits for the Project is consistent with the purposes and objectives of the Zoning Ordinance and General Plan because the use is consistent with similar uses in the community, and meets all the applicable code development standards for such use. The property is adequately sized to accommodate such use. The 19-foot stable is a total of 1,859 square feet. The proposed use is appropriately located in that it will be sufficiently separated from nearby structures used for habitation or containing sleeping quarters. Development would be constructed in furtherance of the General Plan goal of promoting and encouraging equestrian uses.

B. The nature, condition and development of adjacent uses, buildings and structures have been considered, and that the use will not adversely affect or be materially detrimental to these adjacent uses, building or structures.

The nature, condition, and development of adjacent structures have been considered, and the project will not adversely affect or be materially detrimental to these adjacent uses, buildings, or structures because the proposed uses are of sufficient distance from nearby residences so as to not impact the view or privacy of surrounding properties. Development will be constructed on portions of the Property that are already graded and developed.

C. That the site for the proposed conditional use is of adequate size and shape to accommodate the use and buildings proposed.

The project is harmonious in scale and mass with the site, the natural terrain, and surrounding residences because the proposed uses comply with the low-profile residential development pattern of the community and areas will remain open and unobstructed. The lot is sufficient to accommodate the proposed development.

D. That the proposed conditional use complies with all applicable development standards of the zone district.

The proposed conditional uses comply with all applicable development standards of the zone district, including the specified conditions for a stable has been identified in Section 17.18.060(A) of the Zoning Ordinance.

E. That the proposed use is consistent with the portions of the Los Angeles County Hazardous Waste Management Plan relating to siting and siting criteria for hazardous waste facilities.

The proposed conditional uses are consistent with the portions of the Los Angeles County Hazardous Waste Management Plan relating to siting criteria for hazardous waste facilities because the project site is not listed on the current State of California Hazardous Waste and Substances Sites List.

F. That the proposed conditional use observes the spirit and intent of this title.

The proposed development meets the spirit and intent of this title in that it is a residential amenity enjoyed by other properties in the City. The use is consistent with the residential character of the City.

Section 7. Variance Findings. Section 17.38.050 sets forth the required findings for granting Variances for construction of stable in the front yard setback to exceed the maximum 40% disturbed area. With respect to this request for Variances, the Planning Commission finds as follows:

A. That there are exceptional or extraordinary circumstances or conditions applicable to the property that do not apply generally to other properties in the same vicinity and zone.

The lot has an existing net lot area is 1.08 acres, making it subject to reduced setbacks. There are exceptional or extraordinary circumstances or conditions applicable to the property that do not apply generally to other properties in the same vicinity and zone due to the smaller size lot and steepness of the site, making it difficult for the applicant to comply with the maximum 40% disturbance because the lot is already disturbed, and the buildable pad area is limited because the easements and setbacks. Further, the unique topography of the lot requires the stable to encroach into the 50-foot front yard setback that is normally required for accessory structures.

B. That such variance is necessary for the preservation and enjoyment of substantial property rights possessed by other properties in the same vicinity and zone but which is denied the property in question.

Granting the requested variances are necessary for the preservation and enjoyment of property rights on the property and the Project is necessary for the preservation of the Applicant's property right. Stables larger than 200 square feet are an amenity enjoyed by many property owners in the City. The applicant is requesting an approval for the stable front setback. The variance requests are necessary for preservation and enjoyment of property rights consistent with other properties in the same vicinity and zone. The existing secondary building pad is too small compared to other nearby properties, therefore a larger building pad which requires additional disturbance will accommodate a new stable, corral, and improvements. Other properties in the vicinity enjoy these types of improvements.

C. That the granting of such variance will not be materially detrimental to the public welfare or injurious to properties or improvements in the vicinity.

Granting variances for the Project will not be materially detrimental to public welfare or injurious to properties or improvements in the vicinity in that the proposed development will comply with the required building code, will not have adverse visual impact to adjacent properties and is in keeping with the desired equestrian and rural aesthetic of Rolling Hills.

D. That in granting the variance, the spirit and intent of this title will be observed.

The granting of the variance will allow for a development that is harmonious in scale and mass with the site, the proposed project is visually harmonious with adjacent properties and in scale with adjacent residential development. The lot is sufficient to accommodate the proposed use.

E. That the variance does not grant special privilege to the applicant.

The variance does not grant special privilege to the applicant in that the proposed addition is similar in character and scale with existing residential development and the applicant will have the opportunity to enjoy the same amenities enjoyed by other residents in the community. In the past the City has granted approvals for large stables that encroach front yard setback.

F. That the variance is consistent with the portions of the County of Los Angeles Hazardous Waste Management Plan relating to siting and siting criteria for hazardous waste facilities.

Granting a variance for the project will be consistent with the applicable portions of the Los Angeles County Hazardous Waste Management Plan related to siting criteria for hazardous waste facilities. The project site is not listed on the current State of California Hazardous Waste and Substances Sites List. The proposed project would not constitute a hazardous waste facility.

G. That the variance request is consistent with the General Plan of the City of Rolling Hills.

Approvals granting the variance to allow construction into the front yard setback will be consistent with the General Plan of the City of Rolling Hills, which encourages equestrian uses.

Section 8. Approval Conditions. Based upon the foregoing findings, and the evidence in the record, the Planning Commission hereby approves Zoning Case No. 25-033 subject to the following conditions:

A. Approvals for the Site Plan Review, Conditional Use Permit, and Variances shall expire within two years from the effective date of approval as defined in RHMC Sections 17.46.80, 17.42.070, and 17.38.070 of the Zoning Ordinance unless otherwise extended pursuant to the requirements of this section.

B. If any condition of this resolution is violated, the entitlement granted by this resolution shall be suspended and the privileges granted hereunder shall lapse and upon receipt of written notice from the City, all construction work being performed on the subject property shall immediately cease, other than work determined by the City Manager or his/her designee required to cure the violation. The suspension and stop work order will be lifted once the Applicant cures the violation to the satisfaction of the City Manager or his/her designee. In the event that the Applicant disputes the City Manager or his/her designee's determination that a violation exists or disputes how the violation must be cured, the Applicant may request a hearing before the City Council. The hearing shall be scheduled at the next regular meeting of the City Council for which the agenda has not yet been posted; the Applicant shall be provided written notice of the hearing. The stop work order shall remain in effect during the pendency of the hearing. The City Council shall make a determination as to whether a violation of this Resolution has occurred. If the Council determines that a violation has not occurred or has been cured by the time of the hearing, the Council will lift the suspension and the stop work order. If the Council determines that a violation has occurred and has not yet been cured, the Council shall provide the Applicant with a deadline to cure the violation; no construction work shall be performed on the property until and unless the violation is cured by the deadline, other than work designated by the Council to accomplish the cure. If the violation is not cured by the deadline, the Council may either extend the deadline at the Applicant's request or schedule a hearing for the revocation of the entitlements granted by this Resolution pursuant to Chapter 17.58 of the Rolling Hills Municipal Code (RHMC).

C. All requirements of the Building and Construction Ordinance, the Zoning ordinance, and of the zone in which the subject property is located must be complied with unless otherwise a variance to such requirement has been approved.

D. The lot shall be developed and maintained in substantial conformance with the site plan on file at City Hall and approved by the Planning Commission September 16, 2025, except as otherwise provided in these conditions. The working drawings submitted to the Department of Building and Safety for plan check review shall conform to the approved development plan. All conditions of the Site Plan Review, Conditional Use Permit, and Variance approvals shall be incorporated into the building permit working drawings, and where applicable complied with prior to issuance of a grading or building permit from the building department.

The conditions of approval of this Resolution shall be printed onto a separate sheet and included in the building plans submitted to the Building Department for review and shall be kept on site at all times.

Any proposed modifications and/or changes to the approved project, including resulting from field conditions, shall be discussed with staff so that staff can determine whether the modification is minor or major in nature. Minor modifications are subject to approval by the City Manager or his or her designee. Major modifications are subject to approval by the Planning Commissioner after a public hearing. Applicant shall not implement modifications or changes to the approved project without the appropriate approval from the City Manager or designee or the Planning Commission, as required.

E. Prior to submittal of final working drawings to Building and Safety Department for issuance of building and grading permits, the plans for the project shall be submitted to City staff for verification that the final plans are in compliance with the plans approved by the Planning Commission.

F. A licensed professional preparing construction plans for this project for Building Department review shall execute a Certificate affirming that the plans conform in all respects to this Resolution approving this project and all of the conditions set forth herein and the City's Building Code and Zoning Ordinance.

Further, the person obtaining a building and/or grading permit for this project shall execute a Certificate of Construction stating that the project will be constructed according to this Resolution and any plans approved therewith.

G. Structural lot coverage of the lot shall not exceed 6,701 square feet or 14.2% of the net lot area (20% maximum). The flatwork coverage is 6,022 square feet or 12.7%. The total lot coverage proposed, including structures and flatwork, shall not exceed 12,723 square feet or 27% (35% maximum).

H. The lot is already developed and the existing disturbed area is 24,419 square feet or 51.8% (maximum 40%). The Project proposes an increase of 8,849 square feet (18.8%), for a total of 70.6% disturbed area, which has been included in the Variance approvals. Grading shall not exceed 700 cubic yards of cut and 700 cubic yards of fill for a total of 1,400 cubic yards and will be balanced onsite.

I. The total existing building pad coverage for residential pad 1 is 4,351 square feet or 30.23% which is at the required 30% maximum guideline. There are no changes to Pad 1. The proposed building pad coverage for Equestrian Building Pad 2 is 2,350 square feet or 40.5%. This exceeds the building pad coverage guideline by 10.5%.

J. A 6 foot wide stable access shall be provided per the Fire Department requirements and the driveway shall be roughened and the first 20 feet of the driveway shall not exceed 7% in slope.

K. Access to the stable and to the corral shall be decomposed granite or 100% pervious roughened material; it shall not be wider than 12 feet.

L. A minimum of five-foot level path and/or walkway, which does not have to be paved, shall be provided around the entire perimeter of all of the proposed structure, or as otherwise required by the Fire Department.

M. The applicant shall comply with all requirements of the Low Impact Development requirements for storm water management on site (RHMC Chapter 8.32).

N. Hydrology, soils, geology and other reports, as required by the Building and Public Works Departments, and as may be required by the Building Official, shall be prepared.

O. Prior to issuance of a final construction approval of the project, all graded slopes shall be landscaped. Prior to issuance of building permit, the landscaping plan shall meet the requirements of the City, shall be submitted to the City in conformance with Fire Department Fuel Modification requirements, and shall be approved by the City's landscape consultant.

P. The project shall be landscaped, and continually maintained in substantial conformance with the landscaping plan on file approved by the City's landscape consultant. A detailed landscaping plan shall provide that any trees and shrubs used in the landscaping scheme for this project shall be planted in a way that screens the project development from adjacent streets and neighbors, such that shrubs and trees as they mature do not grow into a hedge or impede any neighbors' views and the plan shall provide that all landscaping be maintained at a height no higher than the roof line of the nearest project structure. In addition, the landscaping plan shall provide for screening of development with vegetation not to exceed 10 feet in height, and that the vegetation used for screening shall be planted in an off-set manner, so as to prevent it, as it grows from forming a solid hedge. The landscaping plan shall utilize to the maximum extent feasible, plants that are native to the area, are water-wise and are consistent with the rural character of the community. Plants listed as high hazardous plants under RHMC Section 8.30.015 are prohibited.

Q. The applicant shall submit a landscaping deposit of \$5,000, to be kept on deposit by the City, for the landscape planting and irrigation plans. The deposit shall be released no sooner than two years after completion of all plantings, subject to a City staff determination that the plantings required for the project are in substantial conformance with approved plans and are in good condition. The landscape plans for the ground cover on the graded slopes shall be approved by the City's Landscape Consultant.

A Certificate of Completion shall be submitted by the project designer or contractor prior to final landscape installation inspection.

R. The landscaping shall be subject to the requirements of the City's Water Efficient Landscape Ordinance, (Chapter 13.18 of the RHMC).

S. Pursuant to Chapter 8.30 of the RHMC, the property shall at all times be maintained free of dead trees and vegetation.

T. The setback lines and roadway easement lines in the vicinity of the construction for this project shall remain staked throughout the construction. A construction fence may be required.

U. Perimeter easements, including roadway easements and trails, if any, shall remain free and clear of any improvements to advance equestrian use and emergency preparedness for evacuation within the City. Where RHCA has demonstrated authority over the easement, the City's Planning Director may grant relief from this condition upon satisfactory proof of permission from RHCA and a legitimate showing that there is no need for the condition to advance equestrian uses and emergency preparedness.

V. Minimum of 65% of any construction materials must be recycled or diverted from landfills. The hauler of the materials shall obtain City's Construction and Demolition permits for waste hauling prior to start of work and provide proper documentation to the City. The project must provide quarterly reports and an active construction bin must be onsite during active construction.

W. *During construction*, conformance with the air quality management district requirements, storm water pollution prevention practices, county and local ordinances and engineering practices so that people or property are not exposed to undue vehicle trips, noise, dust, objectionable odors, landslides, mudflows, erosion, or land subsidence shall be required.

X. *During construction*, to the extent feasible, all parking shall take place on the project site, on the new driveway and, if necessary, any overflow parking may take place within the unimproved roadway easements along adjacent streets, and shall not obstruct neighboring driveways, visibility at intersections or pedestrian and equestrian passage. During construction, to the maximum extent feasible, employees of the contractor shall car-pool into the City. To the extent feasible, a minimum of 4' wide path, from the edge of the roadway pavement, for pedestrian and equestrian passage shall be available and be clear of vehicles, construction materials and equipment at all times.

Y. *During construction*, the property owners shall be required to schedule and regulate construction and relate traffic noise throughout the day between the hours of 7 AM and 6 PM, Monday through Saturday only, when construction and mechanical equipment noise is permitted, so as not to interfere with the quiet residential environment of the City of Rolling Hills.

Z. Prior to demolition of the existing structures, an investigation shall be conducted for the presence of hazardous chemicals, lead-based paints or products, mercury and asbestos-

containing materials (ACMs). If hazardous chemicals, lead-based paints or products, mercury or ACMs are identified, remediation shall be undertaken in compliance with California environmental regulations and policies.

AA. The property owner and/or his/her contractor/applicant shall be responsible for compliance with the no-smoking provisions in the Municipal Code. The contractor shall not use tools that could produce a spark, including for clearing and grubbing, during red flag warning conditions. Weather conditions can be found at: http://www.wrh.noaa.gov/lox/main.php?suite=safety&page=hazard_definitions#FIRE. It is the sole responsibility of the property owner and/or his/her contractor to monitor the red flag warning conditions.

AB. Development shall drain in accordance with the approved grading and drainage plan. Drainage dissipaters shall be constructed outside of any easements. The drainage system shall be approved by the Department of Building and Safety. If an above ground swale and/or dissipater is required, it shall be designed in such a manner as not to cross over any equestrian trails or discharge water onto a trail, shall be stained in an earth tone color, and shall be screened from any trail, road and neighbors' view to the maximum extent practicable, without impairing the function of the drainage system.

AC. *During construction*, dust control measures shall be used to stabilize the soil from wind erosion and reduce dust and objectionable odors generated by construction activities in accordance with South Coast Air Quality Management District, Los Angeles County and local ordinances and engineering practices.

AD. *During construction*, an Erosion Control Plan containing the elements set forth in Section 7010 of the 2023 County of Los Angeles Uniform Building Code shall be followed to minimize erosion and to protect slopes and channels to control storm water pollution.

AE. The property owners shall be required to conform to the Regional Water Quality Control Board and County Health Department requirements for the installation and maintenance of storm water drainage facilities and septic tank.

AF. The applicant shall pay all of the applicable Building and Safety and Public Works Department fees and Palos Verdes Peninsula Unified School District fees, if any.

AG. Prior to final inspection of the project, "as graded" and "as constructed" plans and certifications shall be provided to the Planning Department and the Building Department to ascertain that the completed project is in compliance with the Planning Commission approved plans. In addition, any modifications made to the project during construction, shall be depicted on the "as built/as graded" plan.

AH. The applicants shall execute an Affidavit of Acceptance of all conditions of the Variance approval, or the approval shall not be effective.

AI. All conditions of this Resolution, when applicable, must be complied with prior to the issuance of a grading or building permit from the Building and Safety Department.

AJ. Any action challenging the final decision of the City made as a result of the public hearing on this application must be filed within the time limits set forth in Section 17.54.070 of the Rolling Hills Municipal Code and Code of Civil Procedure Section 1094.6.

AK. To the extent permitted by law, Permittee shall defend, indemnify and hold harmless the City of Rolling Hills, its City Council, its officers, employees and agents (the "indemnified parties") from and against any claim, action, or proceeding brought by a third party against the indemnified parties and the applicant to attack, set aside, or void any permit or approval for this project authorized by the City, including (without limitation) reimbursing the City its actual attorney's fees and costs in defense of the litigation. The City may, in its sole discretion, elect to defend any such action with attorneys of its choice. The permittee shall reimburse the City for any court and attorney's fees which the City may be required to pay as a result of any claim or action brought against the City because of this permit. Although the permittee is the real party in interest in an action, the City may, at its sole discretion, participate at its own expense in the defense of the action, but such participation shall not relieve the permittee of any obligation under this condition.

AL. The city cannot grant permission to use or encroach into the Rolling Hills Community Association easements. The applicant shall contact the Association regarding building regulations and easement policy.

AM. The stable shall comply with all requirements in Section 17.18.060, unless otherwise approved herein.

AN. A pre-construction meeting shall be scheduled onsite with applicants, RHCA, City Staff, Architects, Engineers, Contractors, Building & Safety, and any other companies or agencies involved with this Project, before any construction begins. Periodic meetings with Planning staff will be scheduled during the active construction until the project is final completed.

PASSED, APPROVED AND ADOPTED THIS 16th DAY OF SEPTEMBER, 2025.


BRAD CHELF, CHAIRPERSON

ATTEST:


CHRISTIAN HORVATH, CITY CLERK

Any action challenging the final decision of the City made as a result of the public hearing on this application must be filed within the time limits set forth in Section 17.54.070 of the Rolling Hills Municipal Code and Civil Procedure Section 1094.6.

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) §§
CITY OF ROLLING HILLS)

I certify that the foregoing Resolution No. 2025-08 entitled:

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROLLING HILLS GRANTING APPROVAL OF ZONING CASE NO. 25-033: SITE PLAN REVIEWS FOR THE CONSTRUCTION OF A NEW 19-FOOT STABLE, NON-EXEMPT GRADING, EXPANSION OF BUILDING PAD, WALLS TO EXCEED 3 FEET HEIGHT NOT TO EXCEED MAXIMUM 5 FEET HEIGHT, AND OTHER IMPROVEMENTS; CONDITIONAL USE PERMIT FOR STABLE TO EXCEED MAXIMUM 200 SQUARE FEET; AND VARIANCES TO EXCEED 40 PERCENT DISTURBANCE AND FOR CONSTRUCTION IN THE FRONT YARD SETBACK FOR THE LOATION AT 1 HACKAMORE ROAD AND FINDING THE SAME EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (MAHLER & NUCCIO) (LOT-30 EF)

was approved and adopted at a regular meeting of the Planning Commission on September 16, 2025, by the following roll call vote:

AYES: Cardenas, Soo, Douglass, Chair Chelf

NOES:

ABSENT: Kirkpatrick

ABSTAIN:

and in compliance with the laws of California was posted at the following:

Administrative Offices.



CHRISTIAN HORVATH, CITY CLERK

D

DATE 09/09/25 ZONING CASE NO 25-033 ADDRESS 1 HACKAMORE ROAD

ALL STRUCTURES MUST BE SHOWN ON THE PLAN
CALCULATION OF LOT COVERAGE

AREA AND STRUCTURES	EXISTING	PROPOSED	TOTAL
NET LOT AREA	47,070 sq.ft.	0 sq.ft.	47,070 sq.ft.
RESIDENCE	2,785 sq.ft.	0 sq.ft.	2,785 sq.ft.
GARAGE	661 sq.ft.	0 sq.ft.	661 sq.ft.
SWIMMING POOL/SPA	490 sq.ft.	0 sq.ft.	490 sq.ft.
POOL EQUIPMENT	48 sq.ft.	0 sq.ft.	48 sq.ft.
GUEST HOUSE	0 sq.ft.	0 sq.ft.	0 sq.ft.
CABANA	0 sq.ft.	0 sq.ft.	0 sq.ft.
STABLE (dirt volume to be included in grading quantities)	0 sq.ft.	1,859 sq.ft.	1,859 sq.ft.
RECREATION COURT	0 sq.ft.	0 sq.ft.	0 sq.ft.
ATTACHED COVERED PORCHES	0 sq.ft.	491 sq.ft.	491 sq.ft.
ENTRYWAY/ PORTE COCHERE, BREEZEWAYS	125 sq.ft.	0 sq.ft.	125 sq.ft.
ATTACHED TRELLISES	0 sq.ft.	0 sq.ft.	0 sq.ft.
*DETACHED STRUCTURES: (circle all that applies)			
SHEDS, TRELLISES, GAZEBO, BARBECUE, OUTDOOR KITCHEN, ROOFED PLAY EQUIP.- over 15 ft. high and over 120 sq. ft. in area, WATER FEATURES, ETC.	42 sq.ft.	0 sq.ft.	42 sq.ft.
SERVICE YARD	0 sq.ft.	0 sq.ft.	0 sq.ft.
OTHER	0 sq.ft.	0 sq.ft.	0 sq.ft.
BASEMENT AREA (volume to be included in grading quantities)	0 sq.ft.	0 sq.ft.	0 sq.ft.
DEPTH OF BASEMENT	0	0	0
TOTAL STRUCTURES	4,351 sq.ft.	2,350 sq.ft.	6,701 sq.ft.
% STRUCTURAL COVERAGE	9.2 %	5 %	14.2 %
TOTAL STRUCTURES EXCLUDING UP TO 5 & UP TO 800 sq. ft. detached structures that are not higher than 12 ft.	sq.ft.	sq.ft.	sq.ft.
% STRUCTURAL COVERAGE	%	%	%

-6-

B

DATE 09/09/25 Z.C. NO. 25-033 ADDRESS 1 HACKAMORE ROAD

CALCULATION OF BUILDING PAD COVERAGE

PAD NO. 1	EXISTING	PROPOSED	TOTAL
BUILDABLE PAD AREA AND STRUCTURES			
BUILDING PAD	14,394 sq.ft.	0 sq.ft.	14,394 sq.ft.
RESIDENCE	2,785 sq.ft.	0 sq.ft.	2,785 sq.ft.
GARAGE	661 sq.ft.	0 sq.ft.	661 sq.ft.
POOL/SPA	490 sq.ft.	0 sq.ft.	490 sq.ft.
POOL EQUIPMENT	48 sq.ft.	0 sq.ft.	48 sq.ft.
CABANA/REC.RM	0 sq.ft.	0 sq.ft.	0 sq.ft.
GUEST HOUSE	0 sq.ft.	0 sq.ft.	0 sq.ft.
STABLE	0 sq.ft.	0 sq.ft.	0 sq.ft.
SPORTS COURT	0 sq.ft.	0 sq.ft.	0 sq.ft.
SERVICE YARD	0 sq.ft.	0 sq.ft.	0 sq.ft.
ATTACHED COVERED PORCHES Primary residence	0 sq.ft.	0 sq.ft.	0 sq.ft.
Accessory structures	0 sq.ft.	0 sq.ft.	0 sq.ft.
AREA OF ATTACHED COVERED PORCHES THAT EXCEED 10% OF THE SIZE OF RESIDENCE/ACCS. STRUCTURE	0 sq.ft.	0 sq.ft.	0 sq.ft.
ENTRYWAY/PORTE COCHERE/ BREEZEWAY	125 sq.ft.	0 sq.ft.	125 sq.ft.
ATTACHED TRELLISES	0 sq.ft.	0 sq.ft.	0 sq.ft.
ALL DETACHED STRUCTURES (from 1 st page)	242 sq.ft.	0 sq.ft.	242 sq.ft.
ALL DETACHED STRUCTURES (from 1 st page not including allowed deductions)	242 sq.ft.	0 sq.ft.	242 sq.ft.
OTHER	0 sq.ft.	0 sq.ft.	0 sq.ft.
TOTAL STRUCTURES ON PAD NO. 1	4,351 sq.ft.	0 sq.ft.	4,351 sq.ft.
% BUILDING PAD COVERAGE	30.23 %	0 %	30.23 %
TOTAL STRUCTURES ON PAD NO. 1 Not incl. attached trellises, and incl. the area of covered porches that exceed 10% of the size of the residence/accs. structures.	4,351 sq.ft.	0 sq.ft.	4,351 sq.ft.
% BUILDING PAD COVERAGE	30.23 %	0 %	30.23 %

-8-

A

ALL FLATWORK MUST BE SHOWN ON THE PLAN

PRIMARY DRIVEWAY(S)	1,271 sq.ft.	0 sq.ft.	1,271 sq.ft.
PAVED WALKS, PATIO AREAS, COURTYARDS	2,672 sq.ft.	774 sq.ft.	3,446 sq.ft.
POOL DECKING	1,305 sq.ft.	0 sq.ft.	1,305 sq.ft.
OTHER PAVED DRIVEWAYS, ROAD EASEMENTS, PARKING PADS	0 sq.ft.	0 sq.ft.	0 sq. ft.
TOTAL FLATWORK	5,248 sq.ft.	774 sq.ft.	6,022 sq.ft.
% TOTAL FLATWORK COVERAGE	11.1 %	1.6 %	12.7 %
TOTAL STRUCTURAL & FLATWORK COVERAGE	9,599 sq.ft.	3,124 sq.ft.	12,723 sq.ft.
% TOTAL COVERAGE	20.4 %	6.6 %	27 %
TOTAL STRUCTURAL & FLATWORK COVERAGE Excl. the allowance of up to 5 - 800 sq. ft. structures from previous page.	sq.ft.	sq.ft.	sq.ft.
% TOTAL COVERAGE	%	%	%
TOTAL DISTURBED AREA	24,419 sq.ft.	8,849 sq.ft.	33,268 sq.ft.
% DISTURBED AREA	51.8 %	18.8 %	70.6 %
GRADING QUANTITY (include future stable, corral and access way; basement and all other areas to be graded)	1,400 CUBIC YARDS =TOTAL GRADING BALANCED GRADING NO IMPORT OR EXPORT		cubic yards

All structures (attached and detached) must be listed.

* Free standing accessory structures such as sheds, trellises, covered patios, gazebo, fountains, barbecue, outdoor fire place, etc., are not counted towards coverages and disturbed area, unless their combined area exceeds 800 sq. ft., or if there are more than 5 such structures on the property.

-7-

DATE 09/09/25 Z.C. NO. 25-033 ADDRESS 1 HACKAMORE ROAD

CALCULATION OF BUILDING PAD COVERAGE

PAD NO. 2	EXISTING	PROPOSED	TOTAL
BUILDABLE PAD AREA AND STRUCTURES			
BUILDING PAD	2,067 sq.ft.	3,740 sq.ft.	5,807 sq.ft.
RESIDENCE	0 sq.ft.	0 sq.ft.	0 sq.ft.
GARAGE	0 sq.ft.	0 sq.ft.	0 sq.ft.
POOL/SPA	0 sq.ft.	0 sq.ft.	0 sq.ft.
POOL EQUIPMENT	0 sq.ft.	0 sq.ft.	0 sq.ft.
CABANA/REC.RM	0 sq.ft.	0 sq.ft.	0 sq.ft.
GUEST HOUSE	0 sq.ft.	0 sq.ft.	0 sq.ft.
STABLE	0 sq.ft.	1,859 sq.ft.	1,859 sq.ft.
SPORTS COURT	0 sq.ft.	0 sq.ft.	0 sq.ft.
SERVICE YARD	0 sq.ft.	0 sq.ft.	0 sq.ft.
ATTACHED COVERED PORCHES Primary residence	0 sq.ft.	0 sq.ft.	0 sq.ft.
Accessory structures	0 sq.ft.	491 sq.ft.	491 sq.ft.
AREA OF ATTACHED COVERED PORCHES THAT EXCEED 10% OF THE SIZE OF RESIDENCE/ACCS. STRUCTURE	0 sq.ft.	0 sq.ft.	0 sq.ft.
ENTRYWAY/PORTE COCHERE/ BREEZEWAY	0 sq.ft.	0 sq.ft.	0 sq.ft.
ATTACHED TRELLISES	0 sq.ft.	0 sq.ft.	0 sq.ft.
ALL DETACHED STRUCTURES (from 1 st page)	0 sq.ft.	0 sq.ft.	0 sq.ft.
ALL DETACHED STRUCTURES (from 1 st page not including allowed deductions)	0 sq.ft.	0 sq.ft.	0 sq.ft.
OTHER	0 sq.ft.	0 sq.ft.	0 sq.ft.
TOTAL STRUCTURES ON PAD NO. 2	0 sq.ft.	2,350 sq.ft.	2,350 sq.ft.
% BUILDING PAD COVERAGE	0 %	40.5 %	40.5 %
TOTAL STRUCTURES ON PAD NO. 2 Not incl. attached trellises, and incl. the area of covered porches that exceed 10% of the size of the residence/accs. structures.	0 sq.ft.	2,350 sq.ft.	2,350 sq.ft.
% BUILDING PAD COVERAGE	0 %	40.5 %	40.5 %

-9-

DATE 09/09/25 Z.C. NO. 25-033 ADDRESS 1 HACKAMORE ROAD

GRADING AND EXCAVATION INFORMATION

Grading Quantities:	Cubic Yds.	Max. Depth	Max. Depth Location
CUT/EXCAVATION For house/ addition For other structures (i.e. walls) List <u>BARN</u>	210	9'	REAR WALL OF BARN
For driveway(s) For yard areas For basement excavation For pool/ spa excavation Overexcavation	120 320 50	8' 8' 1'	ADJACENT TO BARN NEW CORAL AREA REAR WALL OF BARN
TOTAL CUT	700		
TOTAL EXPORT			
FILL For house/ addition For other structures (i.e.walls) List <u>BARN</u>			
For driveway(s) For yard areas For basements For basement wells For pool/ spa	150 500	4' 6'	NORTH SIDE DRIVEWAY EAST NEW SLOPE
Recompaction	50		
TOTAL FILL	700		
TOTAL GRADING (Sum of total cut and total fill)	1,400 CUBIC YARDS =TOTAL GRADING BALANCED GRADING NO IMPORT OR EXPORT		

PAD/FLOOR ELEVATIONS

Existing pad elevations	Residential pad	Other pad <u>BARN PAD</u>
Finished floor	98.50	
Finished grade	98.50	69.00
Proposed pad elevations		
Finished floor		69.00
Finished grade		68.75
Basement-finished floor		
Basement-finished well wall		

-19-

SPR Rev. July 2019
City of Rolling Hills

DATE 09/09/25 ZONING CASE NO. 25-033 ADDRESS 1 HACKAMORE ROAD

CONCEPTUAL LANDSCAPE PLAN REQUIREMENTS

THE FOLLOWING PROPOSED ELEMENTS MUST BE SHOWN ON THE SITE PLAN SUBMITTED WITH PLANNING APPLICATION. A complete landscaping packet, if applicable, subject to Chapter 13.18 of the RHMC shall by submitted prior to obtaining permits.

PLANTING AREA

- NEW AREA(S) TO BE LANDSCAPED 0 sq. ft
- EXISTING LANDSCAPING TO BE ALTERED (RE-LANDSCAPED) 5,710 sq. ft
NEW GRADED SLOPE TO HAVE PLANTED GROUND COVER
- TOTAL LANDSCAPING: NEW AND ALTERED AREAS 5,710 sq. ft.

OTHER LANDSCAPE ELEMENTS

- CHECK OFF ANY OF THE FOLLOWING ELEMENTS THAT MAY BE PROPOSED, AND SHOW LOCATIONS ON PROJECT SITE PLAN:

- WATER FEATURE: ☐
- GARDEN WALL (less than 3-Ft tall) ☐
- SITTING WALL / BENCH ☐
- WALKWAY OR PATIO ☒
- TRELLIS, CANOPY OR SIMILAR STRUCTURE ☐

NEW STABLE
1 HACKAMORE ROAD
ROLLING HILLS, CA 90275

INDEX OF SHEETS

GENERAL DRAWINGS

G-101 TITLE SHEET
G-102 PROXIMITY PLAN
CIVIL DRAWINGS
C-1.0 SURVEY

ARCHITECTURAL DRAWINGS

A-101 OVERALL SITE PLAN AND SECTION
A-101a ENLARGED SITE PLAN
A-101b PAD PLAN
A-101c GRADING CALCULATIONS
A-102 FLOOR PLANS
A-201 ELEVATIONS

RECEIVED

City of Rolling Hills

9/11/25

PROJECT DATA

PROJECT TITLE: NEW STABLE ZONING CASE NO. 25-033

PROJECT ADDRESS: 1 HACKAMORE ROAD ROLLING HILLS CA 90275

OWNER: PERIN MAHLER AND MELANIE NUCCI 1 HACKAMORE ROAD ROLLING HILLS CA 90274

OWNER AGENT: CAUTHEN DESIGN INC.25332 NARBONNE AVE SUITE 100 LOMITA CA 90717

CONSTRUCTION TYPE: TYPE V-B

APN#: 7567-003-012

LEGAL: LOT: 30-EF

ZONE: RAS-1

USE AND OCCUPANCY CLASSIFICATION: R-1/U

GROSS LOT SIZE: 70,612 SQUARE FEET NET LOT SIZE: 47,070 SQUARE FEET

PROPOSED DEVELOPMENT:

SCOPE OF WORK:

-NEW STABLE

PROPOSED AREA

1,497 SQ. FT. STABLE AREA

362 SQ. FT. FIRST FLOOR TACK ROOM AREA

1,859 SQ. FT. TOTAL

GRADING INFORMATION

(SEE A-101b FOR GRADING PLAN)

CUT 700 CUBIC YARDS

FILL 700 CUBIC YARDS

TOTAL GRADING 1,400 CUBIC YARDS. BALANCED GRADING NO EXPORT OR IMPORT



SHEET NOTES

- FUTURE NEW SEPTIC LOCATION
- NEW RETAINING WALL
- EXISTING POOL AND SPA
- RAILROAD TIES TO BE REMOVED
- ROOF LINE (2'-0" OVERHANG TYP.)
- AC EQUIP.
- EXISTING POOL EQUIP.

LEDEND

- NEW STABLE FIRST FLOOR AREA
- NEW STABLE UPPER FLOOR AREA
- NEW HARDSCAPE AREA
- AREA DRAIN MIN. 10"x10" WITH 50% MIN. OPENING
- DS DOWNSPOUT
- 6" PVC PIPE @ 1% SLOPE MIN. (UNDERGROUND)
- 4" PVC PIPE @ 1% SLOPE MIN. (UNDERGROUND)
- SHEET NOTES REFERENCE
- PROPERTY MARKER
- NEW CONTOUR LINES
- EXISTING CONTOUR LINES
- RAILING
- 6'-0" HIGH W.I. FENCE AT PROP. LINE TYP.

F.S. - FINISH SURFACE
T.O.F. - TOP OF FENCE
T.O.W. - TOP OF WALL
T.O.P. - TOP OF PLASTER
T.O.C. - TOP OF CURB
T.O.T. - TOP OF TRELLIS

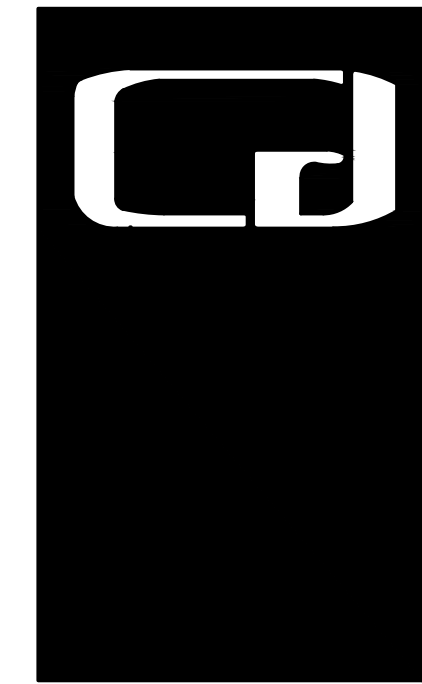
T.O.R. - TOP OF RAIL
T.O.G. - TOP OF GATE
T.D. - TRENCH DRAIN
B.O.P. - BOTTOM OF POOL
B.O.S. - BOTTOM OF SPA

SITE PLAN NOTES

WALL AND FENCE LEGEND

- CURB MAX 9" HIGH ABOVE GRADE
- RETAINING WALL 1' to 4'-9" TALL ABOVE GRADE OR FINISH SURFACE

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JOB No. #####



REVISIONS

NO.	DATE	REMARKS

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PROGRESS PRINTS	

PROJECT TITLE

NEW STABLE

JOB ADDRESS

1 HACKAMORE ROAD

ROLLING HILLS CA 90274

OWNER

PARIN MAHLER & MELANIE NUCCIO

1 HACKAMORE ROAD

ROLLING HILLS CA 90274

LEGAL DESCRIPTION

LOT 30

BLK 1

TRACT

APN: 7567-003-012

Sheet Title

TITLE SHEET

Job No.: J-2410

Date: 09/09/25

Drawn by: B.C.

Checked by:

FILENAME

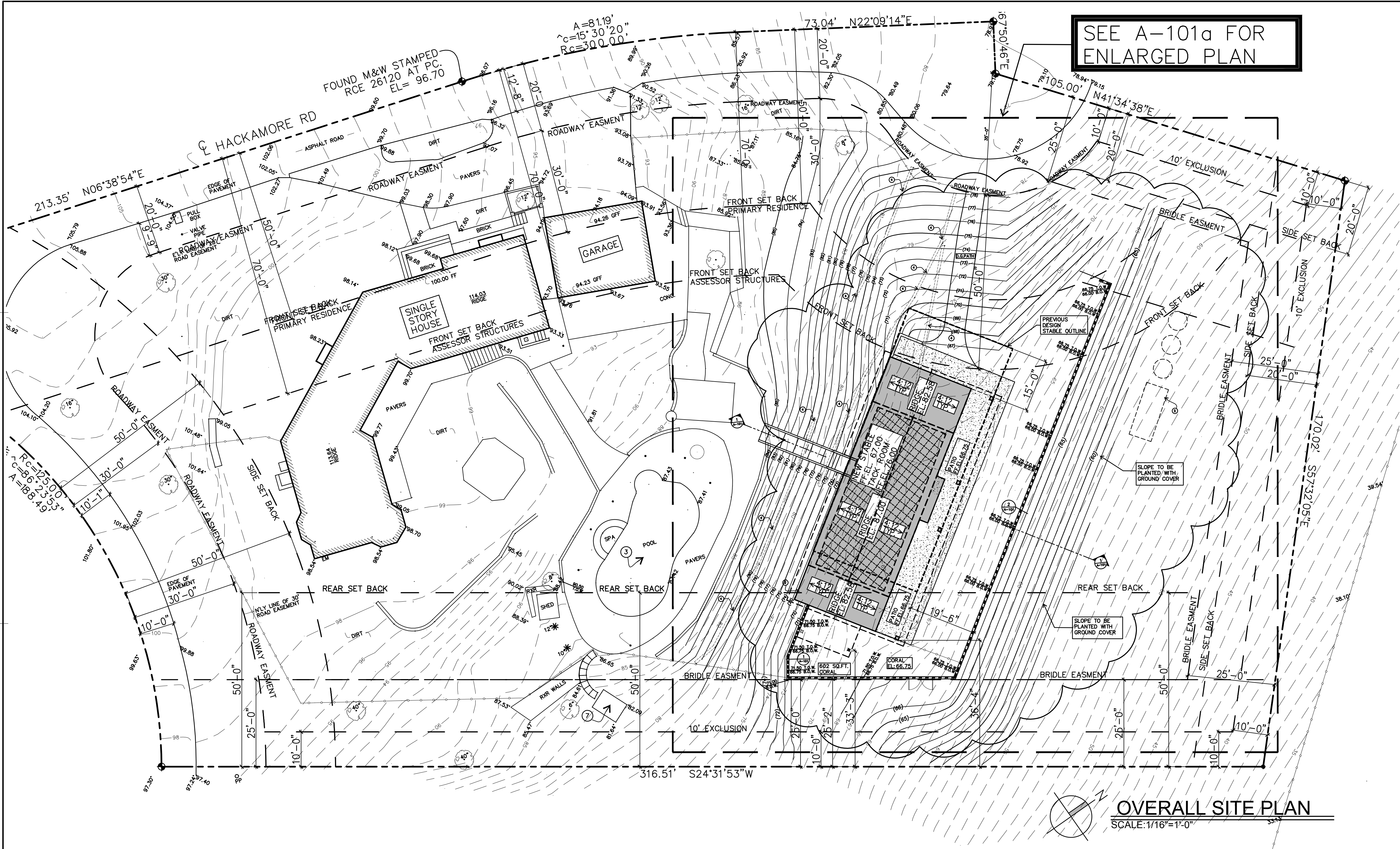
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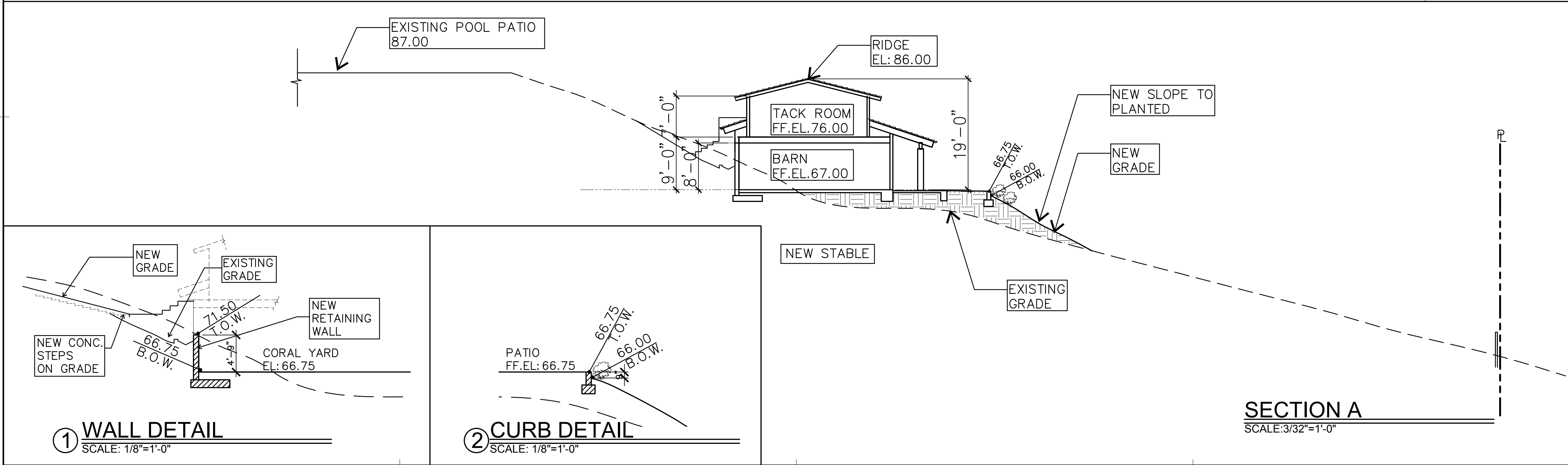
PRINTS

G-101

SHEET NO. OF SHEETS



OVERALL SITE PLAN
SCALE: 1/16"=1'-0"



SECTION A
SCALE: 3/32"=1'-0"

PROJECT DATA

PROJECT TITLE: NEW STABLE ZONING CASE NO. 25-033
PROJECT ADDRESS: 1 HACKAMORE ROAD ROLLING HILLS CA 90275
OWNER: PERIN MAHLER AND MELANIE NUCCI 1 HACKAMORE ROAD ROLLING HILLS CA 90274
OWNER AGENT: CAUTHEN DESIGN INC. 25332 NARBONNE AVE SUITE 100 LOMITA CA 90717
CONSTRUCTION TYPE: TYPE V-B
APN#: 7567-003-012
LEGAL: LOT: 30-EF
ZONE: RAS-1
USE AND OCCUPANCY CLASSIFICATION: R-1/U

GROSS LOT SIZE: 70,612 SQUARE FEET NET LOT SIZE: 47,070 SQUARE FEET

PROPOSED DEVELOPMENT:
SCOPE OF WORK:
-NEW STABLE
PROPOSED AREA
1,497 SQ. FT. STABLE AREA
362 SQ. FT. FIRST FLOOR TACK ROOM AREA
1,859 SQ. FT. TOTAL

GRADING INFORMATION

(SEE A-101b FOR GRADING PLAN)
CUT 700 CUBIC YARDS
FILL 700 CUBIC YARDS
TOTAL GRADING 1,400 CUBIC YARDS BALANCED GRADING NO EXPORT OR IMPORT

SHEET NOTES

1. FUTURE NEW SEPTIC LOCATION
2. NEW RETAINING WALL
3. EXISTING POOL AND SPA
4. RAILROAD TIES TO BE REMOVED
5. ROOF LINE (2'-0" OVERHANG TYP.)
6. AC EQUIP.
7. EXISTING POOL EQUIP.

LEDEND

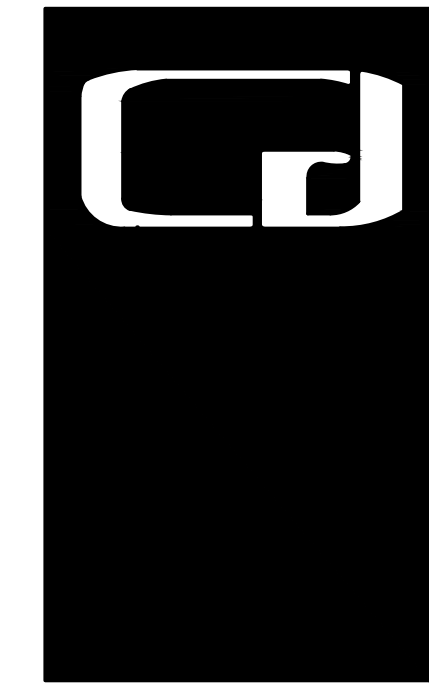
NEW STABLE FIRST FLOOR AREA
NEW STABLE UPPER FLOOR AREA
NEW HARDSCAPE AREA
AREA DRAIN MIN. 10"x10" WITH 50% MIN. OPENING
DS. DOWNSPOUT
6" PVC PIPE @ 1% SLOPE MIN. (UNDERGROUND)
4" PVC PIPE @ 1% SLOPE MIN. (UNDERGROUND)
SHEET NOTES REFERENCE
PROPERTY MARKER
NEW CONTOUR LINES
EXISTING CONTOUR LINES
RAILING
6'-0" HIGH W.I. FENCE AT PROP. LINE TYP.
F.S. - FINISH SURFACE
T.O.F. - TOP OF FENCE
T.O.W. - TOP OF WALL
T.O.P. - TOP OF PILASTER
T.O.C. - TOP OF CURB
T.O.T. - TOP OF TRELIS
T.O.R. - TOP OF RAIL
T.O.G. - TOP OF GATE
T.D. - TRENCH DRAIN
B.O.P. - BOTTOM OF POOL
B.O.S. - BOTTOM OF SPA

SITE PLAN NOTES

WALL AND FENCE LEGEND

- CURB MAX 9" HIGH ABOVE GRADE
RETAINING WALL 1' to 4'-9" TALL ABOVE GRADE OR FINISH SURFACE

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REVISIONS

NO.	DATE	REMARKS

ISSUED

Issued for	Issued on
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PROJECT TITLE
NEW STABLE

JOB ADDRESS
1 HACKAMORE ROAD
ROLLING HILLS CA 90274

OWNER

PARIN MAHLER & MELANIE NUCCIO
1 HACKAMORE ROAD
ROLLING HILLS CA 90274

LEGAL DESCRIPTION

LOT 30
BLOCK TRACT
APN: 7567-003-012
Sheet Title

SITE PLAN

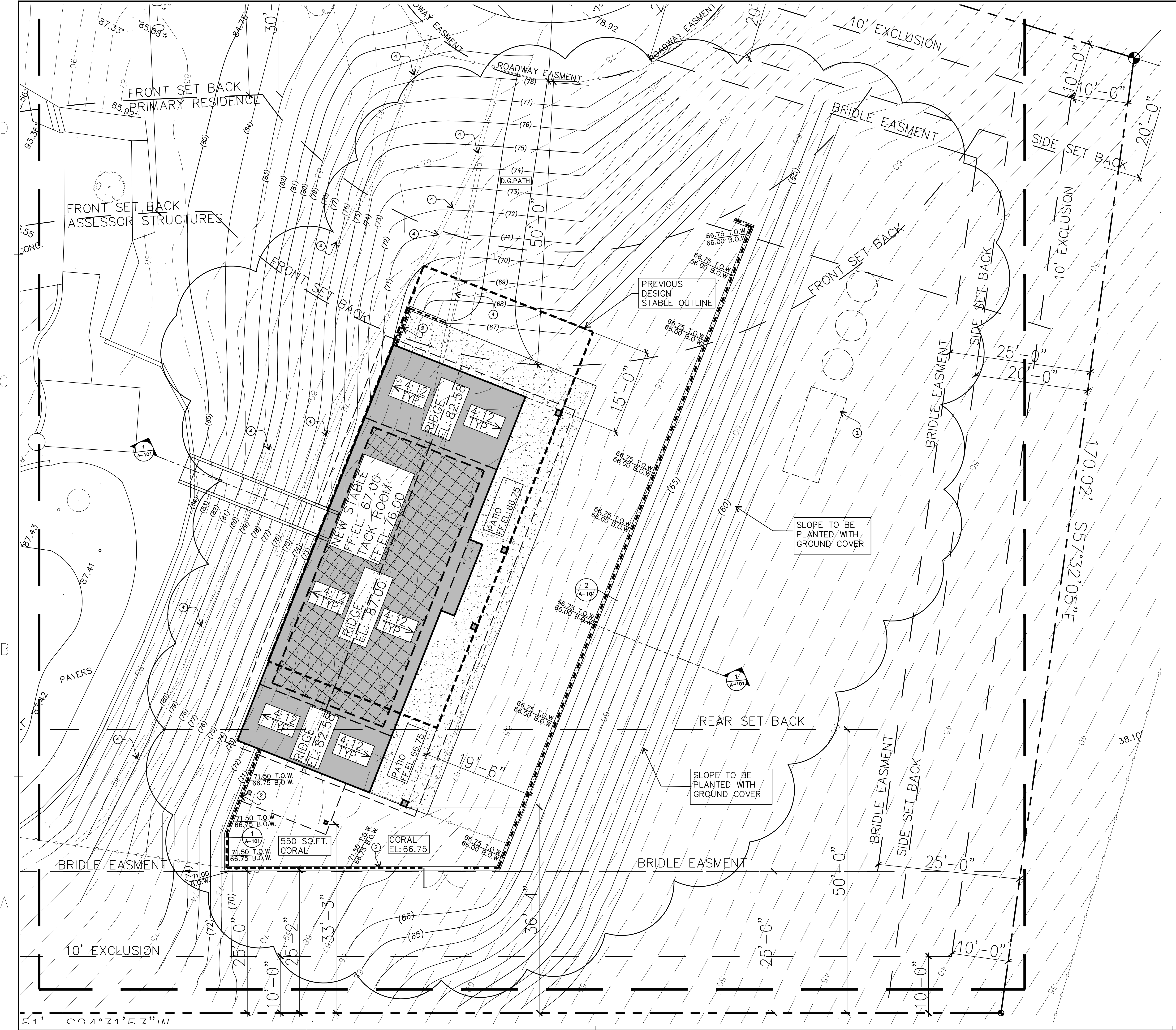
Job No.: J-2410
Date: 09/09/25
Drawn by: B.C.
Checked by:

FILENAME

Drawing Type Drawing No.
PROGRESS PRINTS

A-101

SHEET NO. OF SHEETS



PROJECT DATA

PROJECT TITLE: NEW STABLE ZONING CASE NO. 25-033
PROJECT ADDRESS: 1 HACKAMORE ROAD ROLLING HILLS CA 90275
OWNER: PERIN MAHLER AND MELANIE NUCCI 1 HACKAMORE ROAD ROLLING HILLS CA 90274
OWNER AGENT: CAUTHEN DESIGN INC.25332 NARBONNE AVE SUITE 100 LOMITA CA 90717
CONSTRUCTION TYPE: TYPE V-B
APN#: 7567-003-012
LEGAL: LOT: 30-EF
ZONE: RAS-1
USE AND OCCUPANCY CLASSIFICATION: R-1/U

GROSS LOT SIZE: 70,612 SQUARE FEET NET LOT SIZE: 47,070 SQUARE FEET

PROPOSED DEVELOPMENT:
SCOPE OF WORK:
-NEW STABLE
PROPOSED AREA
1,497 SQ. FT. STABLE AREA
362 SQ. FT. FIRST FLOOR TACK ROOM AREA
1,859 SQ. FT. TOTAL

GRADING INFORMATION

(SEE A-101b FOR GRADING PLAN)
CUT 700 CUBIC YARDS
FILL 700 CUBIC YARDS
TOTAL GRADING 1,400 CUBIC YARDS BALANCED GRADING NO EXPORT OR IMPORT

SHEET NOTES

1. FUTURE NEW SEPTIC LOCATION
2. NEW RETAINING WALL
3. EXISTING POOL AND SPA
4. RAILROAD TIES TO BE REMOVED
5. ROOF LINE (2'-0" OVERHANG TYP.)
6. AC EQUIP.
7. EXISTING POOL EQUIP.

LEDEND

NEW STABLE
FIRST FLOOR AREA

NEW STABLE UPPER
FLOOR AREA

NEW HARDSCAPE AREA

AREA DRAIN MIN. 10"x10" WITH 50%
MIN. OPENING

DS DOWNSPOUT

6" PVC PIPE @ 1% SLOPE MIN. (UNDERGROUND)

4" PVC PIPE @ 1% SLOPE MIN. (UNDERGROUND)

SHEET NOTES REFERENCE

PROPERTY MARKER

(127) NEW CONTOUR LINES

127 EXISTING CONTOUR LINES

RAILING

6'-0" HIGH W.I. FENCE AT PROP. LINE TYP.

F.S. - FINISH SURFACE
T.O.F. - TOP OF FENCE
T.O.W. - TOP OF WALL
T.O.P. - TOP OF PILASTER
T.O.C. - TOP OF CURB
T.O.T. - TOP OF TRELLIS

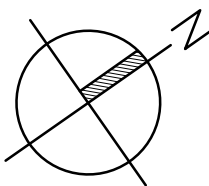
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SITE PLAN NOTES

WALL AND FENCE LEGEND

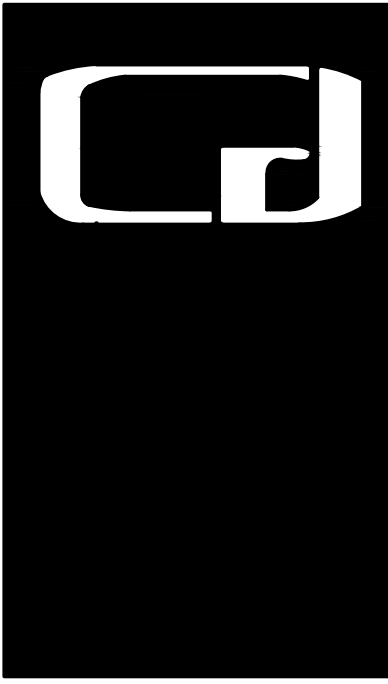
CURB MAX 9" HIGH ABOVE
GRADE

RETAINING WALL 1' to 4'-9" TALL
ABOVE GRADE OR FINISH SURFACE



ENLARGED SITE PLAN
SCALE:1/8"=1'-0"

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JOB No. #####



REVISIONS

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PROGRESS PRINTS	

PROJECT TITLE
NEW STABLE

JOB ADDRESS
1 HACKAMORE ROAD
ROLLING HILLS CA 90274

OWNER

PARIN MAHLER & MELANIE NUCCIO
1 HACKAMORE ROAD
ROLLING HILLS CA 90274

LEGAL DESCRIPTION

LOT 30
BLOCK TRACT
APN: 7567-003-012
Sheet Title

SITE PLAN

Job No.: J-2410
Date: 09/09/25
Drawn by: B.C.
Checked by:
FILENAME

Drawing Type Drawing No.
PROGRESS PRINTS
A-101a

SHEET NO. OF SHEETS

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PROJECT TITLE
NEW STABLE

JOB ADDRESS
1 HACKAMORE ROAD
ROLLING HILLS CA 90274

OWNER

PARIN MAHLER & MELANIE NUCCIO
1 HACKAMORE ROAD
ROLLING HILLS CA 90274

LEGAL DESCRIPTION

LOT 30
BLOCK
TRACT
APN: 7567-003-012

Sheet Title

PAD PLAN

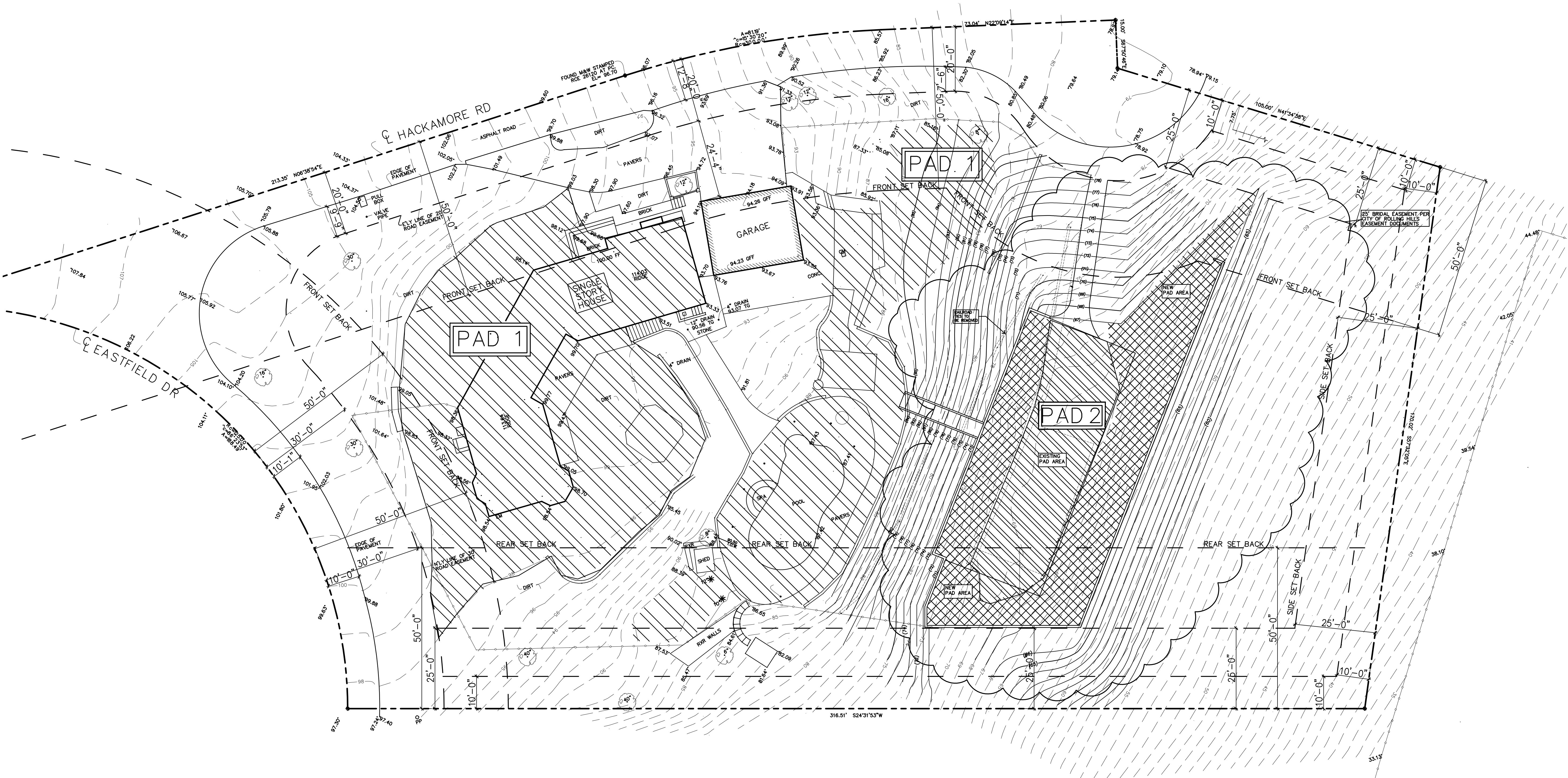
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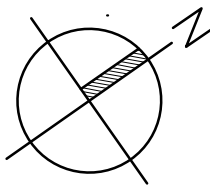
A-101b

SHEET No. OF SHEETS



PAD CALCULATIONS

=EXISTING PAD 1			EXISTING=PAD 2			NEW =PAD 2		
EXISTING	PROPOSED	TOTAL	EXISTING	PROPOSED	TOTAL	EXISTING	PROPOSED	TOTAL
14,394	0	14,394	2,067	3,172	5,238			



PAD PLAN

SCALE: 1/16"=1'-0"

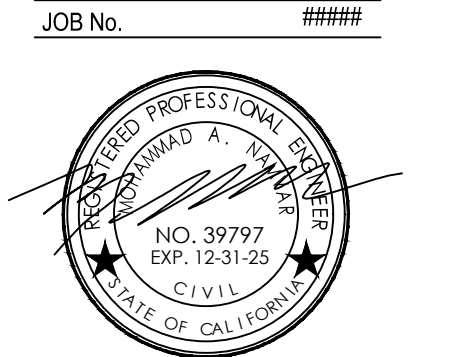
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Phone: 310.462.3049
EMAIL: CAUTHENDESIGN@AOL.COM

Consultants
CONSULTING ENGINEERS
STRUCTURAL DESIGN

NAMVAR
ASSOCIATES
231 VISTA DEL MAR, STE. D
REDONDO BEACH, CA 90277
(310) 540-7788 FAX (310) 510-7733



REVISIONS		
NO.	DATE	REMARKS
ISSUED		
Issued for		Issued on
PROGRESS PRINTS		

PROJECT TITLE
NEW STABLE

JOB ADDRESS
1 HACKAMORE ROAD
ROLLING HILLS CA 90274

OWNER
PARIN MAHLER & MELANIE NUCCIO
1 HACKAMORE ROAD
ROLLING HILLS CA 90274

LEGAL DESCRIPTION
LOT 30
BLOCK
TRACT
APN: 7567-003-012

Sheet Title

GRADING PLAN

Job No.: J-2410
Date: 09/09/25
Drawn by: B.C.
Checked by:
FILENAME FILENAME

Drawing Type
PROGRESS PRINTS

Drawing No.
A-101C
SHEET NO. OF SHEETS

GRADING CALCULATIONS

SCALE: 1/16"=1'-0"

GRADING CALCULATIONS							
CUT/EXCAVATION= =STRUCTURE CUT =SITE CUT				FILL =STRUCTURE FILL =SITE FILL			
	CUBIC YARDS	MAX DEPTH	MAX DEPTH LOCATION		CUBIC YARDS	MAX DEPTH	MAX DEPTH LOCATION
STABLE	210	9'	REAR WALL OF STABLE				
DRIVEWAY	120	8'	DRIVEWAY AT SLOPE	DRIVEWAY	150	4'	NORTH SIDE OF DRIVEWAY
YARD AREAS	320	8'	NEW CORAL AREA	YARD AREAS	500	6'	EAST NEW SLOPE
OVEREXCATION	50	1'	REAR WALL OF STABLE, CORAL AREA	RECOMPATION	50		
TOTAL CUT	700			TOTAL FILL	700		
TOTAL GRDING CUT AND FILL= 1,400 CUBIC YARDS (BALANCED GRADING NO IMPORT OR EXPORT)							



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Designer

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REDONDO BEACH, CA 90277
(310) 540-7788 FAX (310) 510-7733

JOB No. #####



REVISIONS

NO.	DATE	REMARKS

ISSUED

Issued for	Issued on
PROGRESS PRINTS	

PROJECT TITLE NEW STABLE

JOB ADDRESS
1 HACKAMORE ROAD
ROLLING HILLS CA 90274

OWNER

PARIN MAHLER & MELANIE NUCCIO
1 HACKAMORE ROAD
ROLLING HILLS CA 90274

LEGAL DESCRIPTION

LOT 30
BLOCK
TRACT
APN: 7567-003-012

Sheet Title

FLOOR PLAN

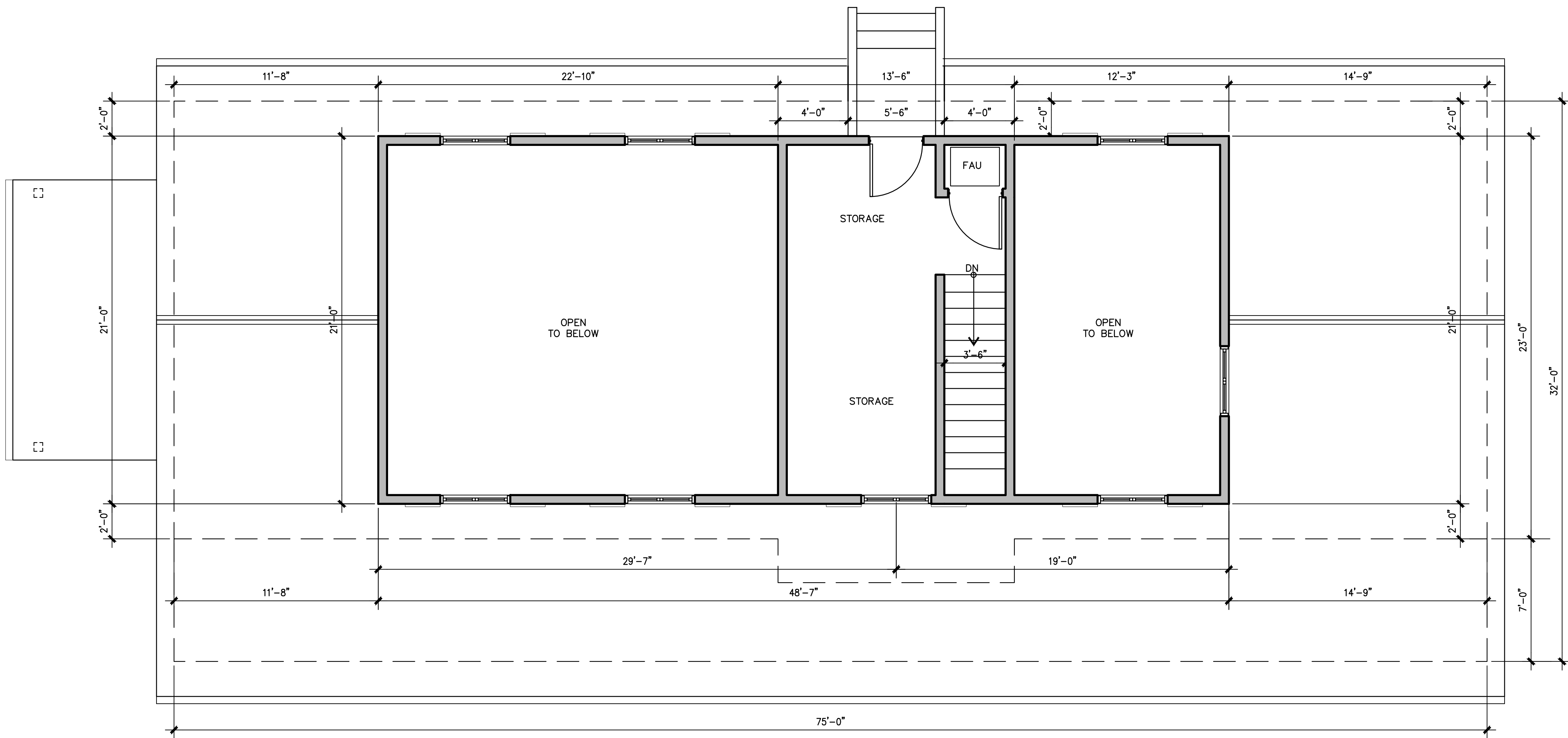
Job No.: J-2410
Date: 09/03/25
Drawn by: B.C.
Checked by:

FILENAME

Drawing Type Drawing No.
PROGRESS
PRINTS

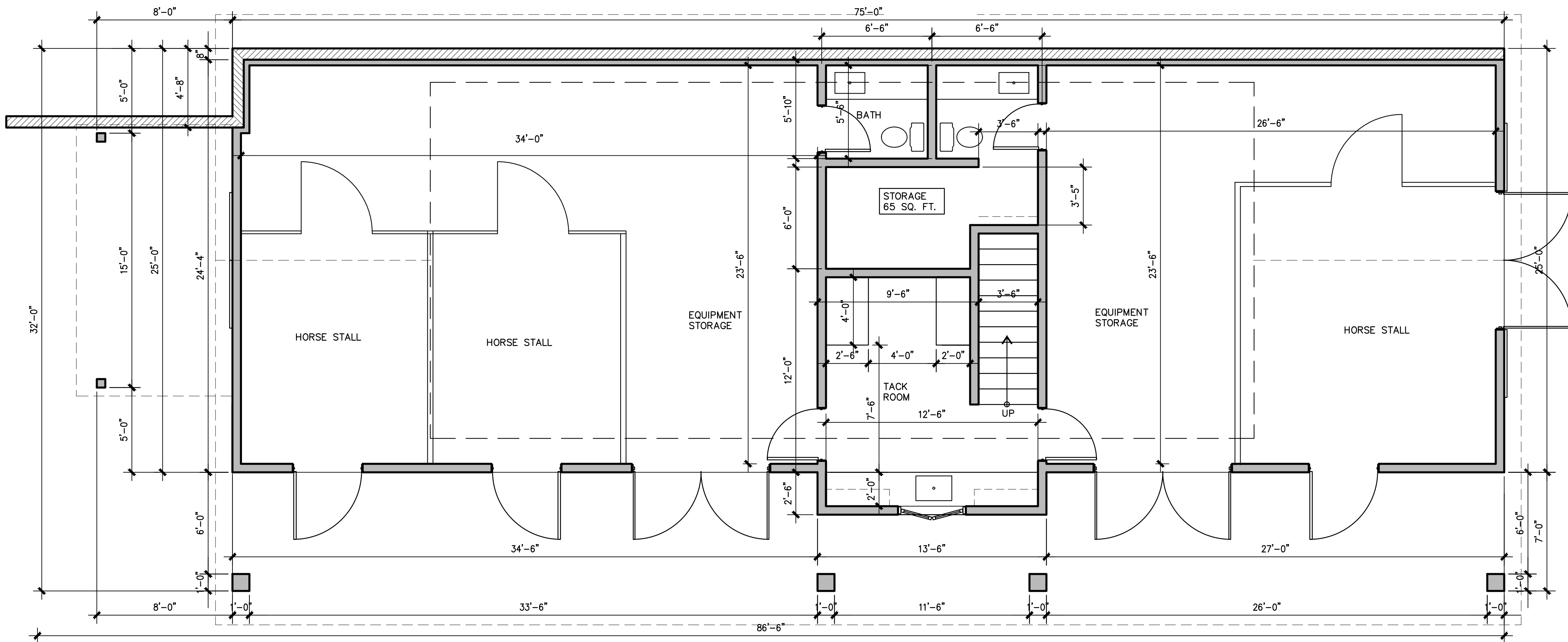
A-102

SHEET No. OF SHEETS



TACK ROOM PLAN

SCALE: 1/4"=1'-0"



STABLE FIRST FLOOR PLAN

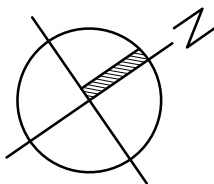
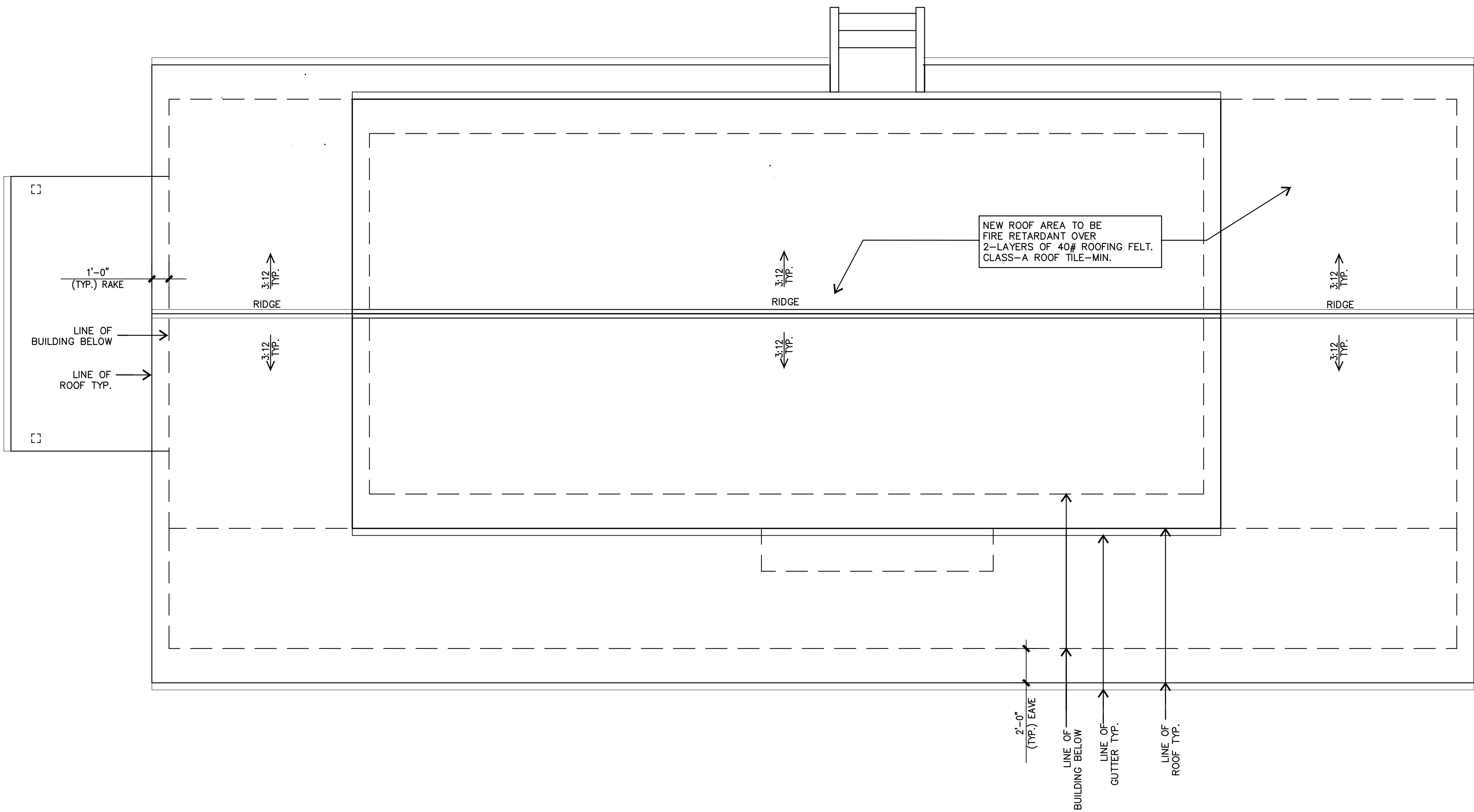
SCALE: 1/4"=1'-0"

D

C

B

A



ROOF PLAN
SCALE:1/4"=1'-0"

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JOB No. #####



REVISIONS

NO.	DATE	REMARKS

ISSUED

Issued for	Issued on
PROGRESS PRINTS	

PROJECT TITLE
NEW STABLE

JOB ADDRESS
1 HACKAMORE ROAD
ROLLING HILLS CA 90274

OWNER

PARIN MAHLER & MELANIE NUCCIO
1 HACKAMORE ROAD
ROLLING HILLS CA 90274

LEGAL DESCRIPTION

LOT 30
BLOCK
TRACT
APN: 7567-003-012

Sheet Title

ROOF
PLAN

Job No.: J-2410
Date: 09/03/25
Drawn by: B.C.
Checked by:

FILENAME

Drawing Type Drawing No.
PROGRESS PRINTS

A-103

SHEET NO. OF SHEETS

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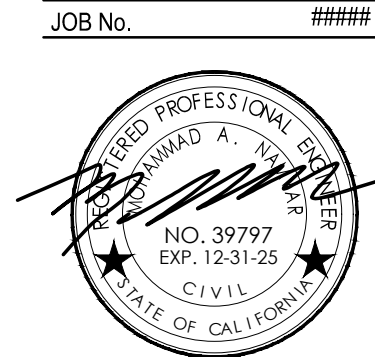
Designer

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(310) 540-7788 FAX (310) 510-7733



REVISIONS

NO.	DATE	REMARKS

ISSUED

Issued for	Issued on
PROGRESS PRINTS	

PROJECT TITLE

NEW STABLE

JOB ADDRESS

1 HACKAMORE ROAD
ROLLING HILLS CA 90274

OWNER

PARIN MAHLER & MELANIE NUCCIO
1 HACKAMORE ROAD
ROLLING HILLS CA 90274

LEGAL DESCRIPTION

LOT 30
BLOCK
TRACT
APN: 7567-003-012

Sheet Title

ELEVATIONS

Job No.: J-2410
Date: 09/03/25
Drawn by: B.C.
Checked by:

FILENAME

Drawing Type Drawing No.
PROGRESS PRINTS

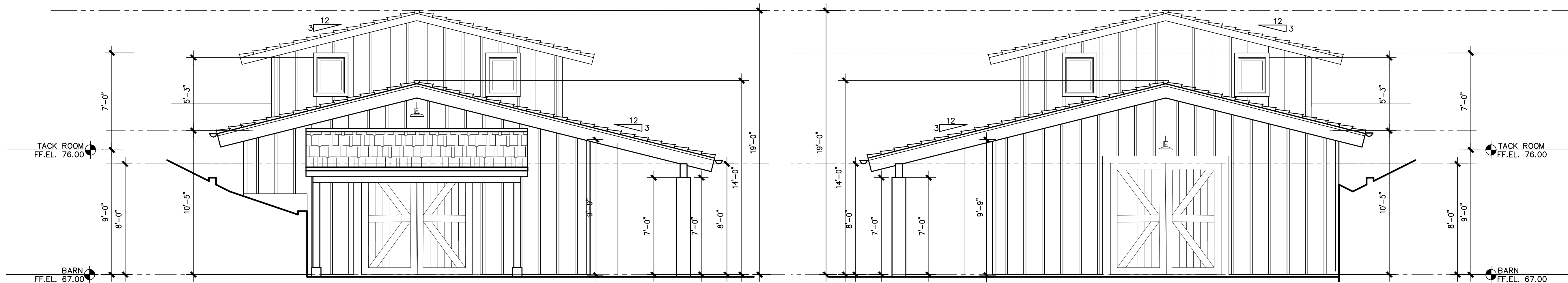
A-201

SHEET NO. OF SHEETS



WEST ELEVATION

SCALE: 1/4"=1'-0"

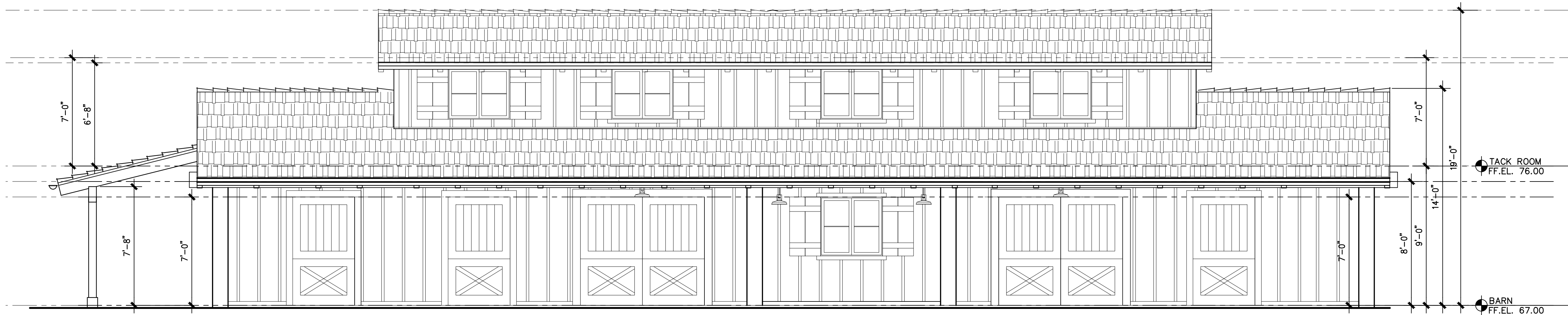


SOUTH ELEVATION

SCALE: 1/4"=1'-0"

NORTH ELEVATION

SCALE: 1/4"=1'-0"



EAST ELEVATION

SCALE: 1/4"=1'-0"

Stephanie Grant

From: Bertram Balch <[REDACTED]>
Sent: Saturday, August 16, 2025 10:58 PM
To: Planning
Cc: V&B Balch
Subject: Proposed project 1 Hackamore Rd (Lot 30-EF)

Follow Up Flag: Follow up
Flag Status: Flagged

This is the first time you received an email from this sender ([REDACTED]). Exercise caution when clicking links, opening attachments or taking further action, before validating its authenticity.

August 16, 2025

City of Rolling Hills

Planning Committee

Dear Members of the Planning Committee,

We are writing regarding the proposed barn at 1 Hackamore Road.

First, we want to express our appreciation for our neighbors and their vision for their project. We support their efforts to create more space for their activities.

That said, we do have concerns about the current design and placement of the building. In its initial form, the structure blocked our view of the San Pedro Bay and the entire coastline when looking out from the living room of our house. Even from the front windows or lawn, significant portions of the view were cut off. We are grateful that the applicants have revised their plans, shifting the structure, but it still blocks about 75% of our view of the bay and coastline from our living room.

We believe further adjustments are possible that would preserve both their vision and our longstanding view. Specifically:

1. **Rear setback** The current 50' rear setback appears to treat the boundary with the neighbor's 53 Eastfield property as a road frontage. We respectfully request the City reconsider this designation and allow the building to be placed against the easement line instead. This would let the project move further back on the lot, reducing its intrusion on our view.
2. **Skylight allowance** The height of the structure has been increased by a secondary level designed primarily to bring in natural light. If the City could grant an allowance for larger windows and skylights or similar daylighting methods such as solar tubes, the need for the added height would be eliminated. This would reduce the impact on our sightline.
3. **Alternative siting** We encourage continued exploration of siting options that place the building further downslope, away from Hackamore Road, so that it blends into the terrain and minimizes obstruction.

Our goal is not to reduce the size or functionality of the planned building, but to find a solution that allows the project to move forward while preserving our valuable coastal views.

Thank you for your consideration.

Sincerely,

Bertram Balch



View from living room

From: [Stephanie Grant](#)
To: [Greg Noel](#)
Subject: RE: Hackamore
Date: Tuesday, July 15, 2025 10:22:00 AM
Attachments: [image001.png](#)

Good morning Greg, do you have any objections for the project? Please provide your objections for the project to the City. You can respond to this email or send to Planning@cityofrh.net.

This project is going to be presented to the Planning Commission on Thursday July 24, 2024 at the morning onsite field trip 7:30 am and evening public hearing at 6:30 pm at City Hall for discretionary review for the Rolling Hills Municipal Code. This ZONING CASE NO. 25-033, for the new stable, please let the City know your objections, not the RHCA.

The RHCA is a separate agency from the City of Rolling Hills. The RHCA have has own Architectural Review Board that will review the project at a later date. Please reach out to Kathryn regarding any objections to the process for the RHCA's architectural review.

Please let me know if you have any questions. I will be waiting for your objections.

Thank you!

Best regards,

Stephanie Grant

Assistant Planner

PLANNING AND COMMUNITY SERVICES

CITY OF ROLLING HILLS

2 Portuguese Bend Road, Rolling Hills CA 90274

Office Phone: 310.377.1521 Extension 202

Email: sgrant@cityofrh.net

From: Greg Noel <[REDACTED]>
Sent: Monday, July 14, 2025 1:44 PM
To: Stephanie Grant <sgrant@cityofrh.net>
Subject: Re: Hackamore

EXTERNAL EMAIL - This email was sent by a person from outside your organization. Exercise caution when clicking links, opening attachments or taking further action, before validating its authenticity.

Thanks Stephanie. All is well here.

Are they proposing vehicle access via the cul-de-sac?

Also, do the neighbors object only through the RHCA or should they also let the City know their objections?

Greg

On Monday, July 14, 2025 at 01:38:23 PM PDT, Stephanie Grant <sgrant@cityofrh.net> wrote:

Hello Greg, I hope you had a nice weekend are doing well.

The project is for a two story 2,093 SF stable and corral.

Thanks!!!

Best regards,

Stephanie Grant
Assistant Planner

PLANNING AND COMMUNITY SERVICES
CITY OF ROLLING HILLS
2 Portuguese Bend Road, Rolling Hills CA 90274
Office Phone: 310.377.1521 Extension 202
Email: sgrant@cityofrh.net

-----Original Message-----

From: Greg Noel [REDACTED]
Sent: Monday, July 14, 2025 1:29 PM
To: Stephanie Grant <sgrant@cityofrh.net>
Subject: Hackamore

Hi Stephanie,

Do you know what they are proposing to build at 1 Hackamore? They put up an outline this morning but I cannot tell if its for a 2 car garage, a 3 car garage or an ADU. Also, are they trying to add another driveway in the cul-de-sac?

Thanks,

Greg

Stephanie Grant

From: Greg Noel [REDACTED]
Sent: Tuesday, August 19, 2025 1:31 PM
To: Stephanie Grant
Subject: 1 Hackamore Road

Stephanie,

Good to see you this morning. I just wanted to go on the record as endorsing the idea that was discussed this morning regarding moving the proposed barn/studio into the rear setback rather than having it in the front setback. This is a win-win for everyone involved. Dick Meyer said he did not care as his view would not be blocked. Verna Balch would get to keep probably 80% of her view. Melanie and Perin would get to keep the barn/studio up high which I believe is their goal so that they can have a view from their studio. And with the structure pushed to the rear I believe there would be no need to build up the pad next to my house thus allowing me to keep my privacy.

I would propose moving the structure all the way to the rear easement in order to minimize the amount of view Verna will lose. I would also encourage you to lower the maximum height to the traditional maximum of 16 feet or sink the barn (or move it slightly down the hill) to the point where Verna could see over a 19 foot tall height. I would also look at having the driveway come off Eastfield instead of Hackamore to minimize the length and preserve parking spaces in the cul-de-sac.

I would want to see new flags and stakes but I believe the new location would work for the Balch family as well as everyone else.

Thanks,

Greg Noel
8 Hackamore Road



City of Rolling Hills

INCORPORATED JANUARY 24, 1957

2 PORTUGUESE BEND ROAD, ROLLING HILLS, CA 90274 | (310) 377-1521

Item: 13.A.

Meeting Date: 10/27/2025

To: City Council
From: Karina Bañales, City Manager
Thru: Karina Bañales, City Manager
Subject: Discussion and review of the City's Blue Newsletter: Purpose, Content, and Opportunities for Enhancement

Background:

At the request of Councilwoman Leah Mirsch, this item is presented for discussion regarding the content and purpose of the City's Blue Newsletter. For more than 20 years, the City of Rolling Hill has regularly published the Newsletter to share community news, events, and public safety information. The publication serves as a longstanding communication tool that keeps residents informed and engaged in City programs and initiatives.

Discussion:

The Blue Newsletter is a double-sided printed publication distributed periodically to households throughout the City. Two types of editions are produced throughout the year:

Regular Editions:

Regular editions include updates on City programs, community club events, and ongoing City projects such as the undergrounding of utilities on Crest Road and Eastfield, evacuation procedures, and Block Captain activities. Additional sections highlight Rolling Hills Community Association news and summarize recent crime statistics provided by the Los Angeles County Sheriff's Department. The newsletter also features educational materials required by Senate Bill 1383 (SB 1383), supporting the City's compliance with CalRecycle's mandate to inform residents and businesses about organic waste reduction, food recovery, and recycling practices that help reduce landfill methane emissions.

The reverse side typically provides tentative upcoming City Council agendas to keep residents informed about City business. These postings may be modified as needed in accordance with Council procedures and Brown Act requirements.

At times, City staff include information focused on specific events that may occur outside the City or provide expanded context for residents. Examples include regional updates on red flag warnings, area fire events, or other public safety advisories. Or more recently, staff introduced new informational features, such as reporting data from the Los Angeles County Fire Department, to help enhance situational awareness and reinforce preparedness within the community.

Special Editions:

Special editions of the Blue Newsletter focus on Citywide initiatives and community events. They may include updates on public safety projects such as the Emergency Outdoor Siren System, reminders regarding seasonal brush clearance and emergency preparedness, and announcements of Republic Services programs such as e-waste collection, shredding events, and bulky or green waste pickups.

CONCLUSION

The Blue Newsletter continues to serve as one of the City's most effective tools for informing and engaging residents about municipal programs, community updates, and safety initiatives. Reviewing its current structure and exploring potential enhancements will help ensure the publication remains responsive to community priorities and strengthens transparent, accessible communication between City Hall and residents. Staff looks forward to receiving Council direction on how best to enhance the Blue Newsletter as a vital component of the City's public outreach efforts.

Fiscal Impact:

None.

Recommendation:

Staff requests City Council consideration of possible modifications, additions, or direction regarding the Blue Newsletter's format and content to further improve community communication and outreach efforts.

Attachments:

None



City of Rolling Hills

INCORPORATED JANUARY 24, 1957

2 PORTUGUESE BEND ROAD, ROLLING HILLS, CA 90274 | (310) 377-1521

Item: 14.A.

Meeting Date: 10/27/2025

To: City Council
From: Karina Bañales, City Manager
Thru: Karina Bañales, City Manager
Subject: Receive and file the Code Compliance Quarterly Report for the Third Quarter of 2025 (July 1 - September 30)

Background:

The Code Compliance Division provides quarterly updates on cases, including dead vegetation and other code violations. The attachments summarize cases opened and closed during the second quarter, along with a cumulative list of open cases.

During this fiscal year, the City authorized the elimination of the part-time Bookkeeper/Clerk position and the establishment of a full-time Code Compliance Officer/Planning Technician position. Recruitment opened in June, and the position was successfully filled in September. The new role allows the incumbent to work closely with the Planning team and assist residents in obtaining permits for previously unpermitted construction. In addition, site visits have been conducted promptly to address and close out cases involving dead vegetation. Several cases have also been referred to the City Attorney's Office and are being scheduled for hearings before the City Council.

This staff report provides third-quarter status updates for the period of July 1 through September 30.

Discussion:

During the third quarter of 2025, one new code case was opened (Attachment A). Since the last quarterly update, the Code Compliance Officer has been managing three open cases (Attachment B). When property owners remain unresponsive and fail to comply, cases are referred to the City Attorney's Office for further action. As a result, six cases—four of which were reported in the second quarter update—have been assigned to the City Attorney for review (Attachment C), bringing the total to nine active cases.

A total of ten cases were closed during this quarter (Attachment D). Since January 2025, thirty-one cases have been closed, including one that originated in 2023 (Attachment E).

Fiscal Impact:

None.

Recommendation:

Receive and file.

Attachments:

1. Attachment A 20252710_CCO_Third Quarter Only Open Cases
2. Attachment B 20252710_CCO_Third Quarter ALL Open Cases
3. Attachment C 20252710_CCO_All City Attorney Cases
4. Attachment D 20252710_CCO_Third Quarter Only Closed Cases
5. Attachment E 20252710_CCO_All Closed Cases



City of Rolling Hills
Open Cases
Third Quarter Update

Case #	Case Date	Main Status	Address of Violation	Description	Case Status	Case Status
465	8/21/2025	Open	6 Saddleback Rd.	Portable toilet	Open	Code Compliance Officer is scheduling a re-inspection for status update.

Total 1



City of Rolling Hills
All Open Cases
Third Quarterly Update

Case #	Case Date	Address Violation	Case Status	Description
465	8/21/2025	6 Saddleback Rd	Open	Portable toilet
449	4/3/2025	35 Chuckwagon Road	Open	Unpermitted structure
401	1/14/2025	8 Quail Ridge Road N.	Open	Unpermitted Building

Total 3



City of Rolling Hills
City Attorney Review
Third Quarterly Update

Case #	Case Date	Address of Violation	Description	Main Status	Case Status
453	5/1/2025	6 Running Brand rd.	Attractive nuisance	City Attorney	City Attorney preparing notice to abate and will come before City Council.
452	4/22/2025	2 Crest Rd. E	Dead Tree	City Attorney	City Attorney preparing notice to abate and will come before City Council.
443	2/27/2025	77 Portuguese Bend rd.	Dried/Overgrown vegetation	City Attorney	City Attorney preparing notice to abate and will come before City Council.
421	8/27/2024	7 Portuguese Bend Rd	Unpermitted storage container	City Attorney	Code Compliance Officer will re-inspect for an update on Monday, 10/27.
407	5/28/2024	10 Flying Mane Rd	Illegal grading and retaining walls	City Attorney	Code Compliance Officer will reach out to the homeowner and schedule a follow-up inspection to determine next steps.
367	7/13/2023	79 Eastfield Dr.	Overgrown vegetation/unfinished construction	City Attorney	Receivership process underway.

Total 6



City of Rolling Hills
Closed Cases
Third Quarterly Update

Case #	Case Date	Case Closed	Address of Violation	Description
361	6/13/2023	10/23/2025	7 Chuckwagon Rd.	Aggressive Animal (Dog)
401	1/14/2025	10/23/2025	8 Quail Ridge Rd N	Unpermitted Building
449	4/3/2025	10/23/2025	35 Chuckwagon Road	Unpermitted structure
466	9/4/2025	10/10/2025	2 Bowie Rd	Sewage Odor
463	8/12/2025	8/21/2025	5 Ringbit rd.	Unpermitted construction
462	8/5/2025	8/14/2025	11 Saddleback Rd.	Unpermitted construction
460	6/24/2025	7/8/2025	14 Caballeros	Overgrown vegetation/broken fence
456	6/3/2025	7/17/2025	4 Spur Lane	Overgrown vegetation
447	3/27/2025	8/28/2025	8 Bowie Rd.	Misc Debris Fire Hazard
439	2/6/2025	7/15/2025	6 Saddleback Rd.	Dead trees on the property

Total 10



City of Rolling Hills
Total Closed Cases
Third Quarter Update

Case #	Case Date	Case Closed	Address of Violation	Description
466	9/4/2025	10/10/2025	2 Bowie Rd	Sewage Odor
364	6/22/2023	10/8/2025	4 Possum Ridge Rd.	Unpermitted work/grading
447	3/27/2025	8/28/2025	8 Bowie Rd.	Misc Debris Fire Hazard
464	8/21/2025	8/26/2025	5 Ringbit rd.	Overnight parking
463	8/12/2025	8/21/2025	5 Ringbit rd.	Unpermitted construction
462	8/5/2025	8/14/2025	11 Saddleback Rd.	Unpermitted construction
459	6/24/2025	7/24/2025	12 Caballeros rd.	Overgrown vegetation
456	6/3/2025	7/17/2025	4 Spur Lane	Overgrown vegetation
439	2/6/2025	7/15/2025	6 Saddleback Rd.	Dead trees on the property
460	6/24/2025	7/8/2025	14 Caballeros	Overgrown vegetation/broken fence
455	6/3/2025	6/24/2025	2910 Palos Verdes Dr. N	Overgrown vegetation
438	2/6/2025	6/19/2025	1 Acacia	Dead vegetation
457	6/24/2025	6/17/2025	91 Crest Rd. E	Overgrown vegetation
451	4/10/2025	6/12/2025	26 Cinching Rd.	Illegal draining down driveway
454	5/6/2025	5/27/2025	35 Eastfield Dr.	Unpermitted Storage container
446	3/20/2025	5/22/2025	4 Maverick Ln.	Dead tree
382	11/2/2023	4/25/2025	17 Eastfield Drive	Unpermitted construction.
448	3/27/2025	4/22/2025	6 Ringibit W.	Dead tree located on a slope
417	8/20/2024	4/22/2025	74 Portuguese Bend Rd.	Unpermitted storage container
416	8/20/2024	4/22/2025	56 Portuguese Bend Rd.	Unpermitted storage container
450	4/8/2025	4/18/2025	Teddy's Trail	Trail next to 8 Bowie Rd.
440	2/20/2025	4/15/2025	67 Saddleback Rd.	Overgrown palm fronds
435	1/30/2025	4/1/2025	44 Portuguese Bend Road	Dead tree along roadside
445	3/11/2025	3/31/2025	28 Caballeros Rd.	Overnight Parking
434	1/23/2025	3/25/2025	12 Crest Road E	Pine trees sprouted on property
433	1/21/2025	3/20/2025	59 Eastfield Dr.	Dead vegetation
436	1/30/2025	3/6/2025	88 Saddleback rd	Dead tree along the roadside
425	11/19/2024	3/6/2025	15 Bowie Rd	Misc debris in the front of the property



City of Rolling Hills
Total Closed Cases
Third Quarter Update

Case #	Case Date	Case Closed	Address of Violation	Description
437	2/4/2025	2/20/2025	48 Saddleback Rd.	Overgrown palm fronds
432	1/14/2025	1/24/2025	25 Portuguese Bend Road	Dead Tree
431	1/7/2025	1/14/2025	74 Saddleback Rd.	Overgrown/dried vegetation

Total Cases 31



City of Rolling Hills

INCORPORATED JANUARY 24, 1957

2 PORTUGUESE BEND ROAD, ROLLING HILLS, CA 90274 | (310) 377-1521

Item: 15.A.

Meeting Date: 10/27/2025

To: City Council

From: Nicolas Papajohn, City Attorney

Thru: Karina Bañales, City Manager

Subject: Conference With Legal Counsel - Existing Litigation Government Code Section 54956.9(D)(1) The City Finds, Based on Advice from Legal Counsel, that Discussion in Open Session will Prejudice the Position of the City in the Litigation. (2 Cases) A. Name of Case: City of Rolling Hills v. SCE CPUC Docket No. C.24-10-008 B. Name of Case: City of Rolling Hills v. SoCalGas CPUC Docket No. C.24-10-009

Background:

None.

Discussion:

None.

Fiscal Impact:

None.

Recommendation:

None.

Attachments:

None